

# AGENDA

## CITY OF PEARLAND PLANNING & ZONING COMMISSION

November 21, 2016

8:00 p.m.

Daniel Tunstall  
P&Z CHAIRPERSON

Thomas Duncan  
P&Z VICE-CHAIRPERSON

### COMMISSIONERS

Troy Pradia



Derrell Isenberg

Mary Starr

Ginger McFadden

David Selsky

In accordance with the Texas Open Meeting Act the Agenda is posted for public information, at all times, for at least 72 hours preceding the scheduled time of the meeting on the bulletin board located at the front entrance of the City Hall, 3519 Liberty Drive.



**AGENDA - REGULAR MEETING OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF PEARLAND, TEXAS, MONDAY, NOVEMBER 21, 2016, AT 8:00 P.M., HELD IN THE COUNCIL CHAMBERS, CITY HALL, 3519 LIBERTY DRIVE, PEARLAND, TEXAS**

**I. CALL TO ORDER**

**II. CONSENT AGENDA**

**All items listed under the “Consent Agenda” are considered to be routine and require little or no deliberation by the P&Z Commission. These items will be enacted / approved by one motion unless a commissioner requests separate action on an item, in which event the item will be removed from the Consent Agenda and considered by separate action (*ix. Matters removed from Consent Agenda*). Approval of the Consent Agenda enacts the items of legislation.**

**A. CONSIDERATION & POSSIBLE ACTION – APPROVAL OF MINUTES AND EXCUSED ABSENCE**

1. Approval the Minutes of the August 1, 2016, October 17, 2016, and November 7, 2016 Regular P&Z Meetings.
2. Excuse the absence of P&Z Commissioner Troy Pradia from the October 3, 2016 P&Z Regular Meeting.

**III. NEW BUSINESS**

**A. CONSIDERATION AND POSSIBLE ACTION – ZONE CHANGE APPLICATION NO. CUP 16-00009**

A request of Arne Pepin, applicant/owner; for approval of a Conditional Use Permit to allow for a tool and machinery rental with outdoor storage in the General Commercial (GC) zoning district; on approximately 4.694 acres of land.

**Legal Description:** Being 4.694 acres (204,491 square feet) of land situated in the northeast one-quarter of Section 17, H. T. & B. RR Co. Survey, Abstract No. 242, Brazoria County, Texas, and being a part of the land described in Vol. 103, Page 156 and also part of the land described in Vol. 233, Page 452 of the Deed Records of Brazoria County, Texas.

**General Location:** 2932 Manvel Road, Pearland, TX.

**B. CONSIDERATION AND POSSIBLE ACTION – ZONE CHANGE APPLICATION NO. CUP 16-00010**

A request of Jay Dorsey, applicant, on behalf of Trajan Properties, LLC., owner; for approval of a Conditional Use Permit to allow for a metal, machine, or wood shop and



building material sales in the Garden/O’Day-Mixed Use (G/O-MU) zoning district; on approximately 0.63 acres of land.

**Legal Description:** Being a tract of land containing 0.63 acres (27,500 square feet) and being known as Lot 9, Block 3 of Hickory Creek Subdivision as recorded in Volume 11, Page 1 of the Brazoria County Map Records.

**General Location:** 2106 O’Day Road, Pearland, TX.

**C. CONSIDERATION AND POSSIBLE ACTION – ZONE CHANGE APPLICATION NO. CUP 16-00011**

A request of Richard Stockton, applicant, on behalf of Greenspace Holdings, LLC., owner; for approval of a Conditional Use Permit to allow for a mini-warehouse/self-storage in the General Business (GB) zoning district; on approximately 2.101 acres of land.

**Legal Description:** All of that Lot “A” and Lot “B”, Block 1 in the Whispering Winds Subdivision, Section 2, an addition in the Thomas J. Green Survey, Abstract No. 198 as recorded in Volume 19, Pages 163-164 in the Plat Records of Brazoria County, Texas.

**General Location:** Approximately 323 feet northeast of the intersection of Westminister Road and Broadway Street.

**D. CONSIDERATION AND POSSIBLE ACTION – ZONE CHANGE APPLICATION NO. ZONE 16-00016**

A request of the City of Pearland, for proposed amendments to all Planned Developments and Planned Unit Developments within the City of Pearland to require approval of a Conditional Use Permit for auto related uses, Gas Stations, Pawn Shops, Payday Loan Centers, Gold Exchanges, Rehab Facilities, Halfway House, Boarding Homes, Asphalt/Concrete Plants, Liquor/Package Stores, Cigars, Tobacco or E-Cigarettes Shops and Vaping Lounges.

**E. DISCUSSION ITEMS**

1. Commissioners Activity Report
2. Zoning Update:  
1<sup>st</sup> Reading 11-14-16  
CUP 2016-00007: 5004 Broadway St. - CUP for Church in NS  
CUP 2016-00008: 3200 Main St. - CUP for Grocery Store in M-1
3. Next P&Z Meeting, – December 5, 2016 – Regular P&Z meeting (plats only)

**IV. ADJOURNMENT**

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**This site is accessible to disabled individuals. For special assistance, please call Young Lorfing at 281-652-1655 prior to the meeting so that appropriate arrangements can be made.**

I, Alma Gonzales, Office Assistant of the City of Pearland, Texas, do hereby certify that the foregoing agenda was posted in a place convenient to the general public at City Hall on the 18th day of November 2016, A.D., at 5:30 p.m.

\_\_\_\_\_  
Alma Gonzales, Office Assistant

Agenda removed \_\_\_\_\_ day of November \_\_\_\_\_, 2016.

## **II. Consent Agenda Items**

All items listed under the “Consent Agenda” are considered to be routine and require little or no deliberation by the P&Z Commission.

These items will be enacted / approved by one motion unless a commissioner requests separate action on an item, in which event the item will be removed from the Consent Agenda and considered by separate action (ix. Matters removed from Consent Agenda). Approval of the Consent Agenda enacts the items of legislation.

## **A. CONSIDERATION & POSSIBLE ACTION – APPROVAL OF MINUTES AND EXCUSED ABSENCE**

1. Approval the Minutes of the August 1, 2016, October 17, 2016, and November 7, 2016 Regular P&Z Meetings.
2. Excuse the absence of P&Z Commissioner Troy Pradia from the October 3, 2016 P&Z Regular Meeting.

**MINUTES OF THE REGULAR MEETING OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF PEARLAND, TEXAS, MONDAY, AUGUST 01, 2016, AT 6:30 P.M., HELD IN THE COUNCIL CHAMBERS, CITY HALL, 3519 LIBERTY DRIVE, PEARLAND, TEXAS**

**CALL TO ORDER**

P&Z Chairperson Daniel Tunstall opened the meeting for the P&Z Regular Meeting at 7:55 p.m.

In attendance were:

P&Z Chairperson Daniel Tunstall  
P&Z Vice-Chairperson Thomas Duncan  
P&Z Commissioner Mary Starr  
P&Z Commissioner Ginger McFadden  
P&Z Commissioner Troy Pradia  
P&Z Commissioner David Selsky

Also present were Deputy City Attorney Lawrence Provins, Community Development Director Lata Krishnarao, City Planner Frankie Legaux, Sr. Planner Martin Griggs, Associate Planner Vince Husted, Assistant City Engineer Richard Mancilla and Office Supervisor Judy Brown.

**CONSENT AGENDA**

P&Z Chairperson Daniel Tunstall read the items on the consent agenda. P&Z Vice-Chairperson Thomas Duncan made a motion to approve the consent agenda, P&Z Commissioner Mary Starr seconded the motion. The motion was approved 6-0. P&Z Chairperson Daniel Tunstall, P&Z Vice-Chairperson Thomas Duncan, P&Z Commissioners Ginger McFadden, Troy Pradia, David Selsky and Mary Starr voted to approve.

**CONSIDERATION & POSSIBLE ACTION – APPROVAL OF MINUTES AND EXCUSED ABSENCE**

1. Approve the Minutes of the July 18, 2016 Regular P&Z Meeting.
2. Excuse the absence of P&Z Commissioner Troy Pradia from the July 18, 2016 P&Z Regular Meeting.

**OLD BUSINESS**

P&Z Chairperson Daniel Tunstall read the items for Conditional Use Permit Application No. CUP 2016-05. P&Z Vice-Chairperson Thomas Duncan made a motion to approve, P&Z Commissioner Mary Starr seconded the motion. The motion was approved 6-0. P&Z

Chairperson Daniel Tunstall, P&Z Vice-Chairperson Thomas Duncan, P&Z Commissioners Ginger McFadden, Troy Pradia, David Selsky and Mary Starr voted to approve.

**CONSIDERATION AND POSSIBLE ACTION – CONDITIONAL USE PERMIT  
APPLICATION NO. CUP 2016-05**

A request of Nirmal Gandhi, applicant; on behalf of Ajay and Madhu Jain Living Trust, owner; for approval of a Conditional Use Permit (CUP) to allow for a Hotel/Motel in the Business Park District – 288 (BP-288) zoning district; on approximately 3.653 acre portion of land out of 14.286 acres of land, to wit:

**Legal Description:** Being 14.286 acres of land out of Lots 6 and 7 of a subdivision in the James Hamilton Survey, Abstract 881, in Harris County, Texas according to the map or plat thereof recorded in Volume 83, Page 342 of the deed records of Harris County, Texas and being that same tract of land conveyed to Nova Strategic Solutions Ltd., as described in deed recorded under County Clerk’s File #Z357162 of the real property records of Harris County, Texas.

**General Location:** East side of SH 288 Frontage Road, north of Holiday Inn Express, Pearland, TX.

Senior Planner Martin Griggs stated this item was heard at the Joint Public Hearing on March 28, 2016 for a CUP to allow extended stay hotel use under the brand Home 2 Suites by Hilton. Staff recommends approval with modified site plan and elevations.

Discussion ensued by the P&Z Commission in regards to the four requested conditions, site plan being the gateway into Pearland and upgrade on the standard design. The applicant, Nirmal Gandhi, produced a color rendition of the design. Mr. Griggs added that the landscape plan provided was above standard. P&Z Commissioner David Selsky made a comment that Commission would like elaborate but not sure what it is but is in favor of the CUP. P&Z Commissioner Troy Pradia inquired what the applicant may have to offer. P&Z Chairperson Daniel Tunstall comments the applicant has provided a nice site plan and is in favor of the CUP. P&Z Commissioner Mary Starr comments that applicant has done a good job with the plans but would like to see more stone.

The vote was 5-1. P&Z Chairperson Daniel Tunstall, P&Z Vice-Chairperson Thomas Duncan and P&Z Commissioners Mary Starr, Troy Pradia and David Selsky were in favor. P&Z Commissioner Ginger McFadden opposed the motion for Conditional Use Application No. CUP 2016-05.

**NEW BUSINESS**

P&Z Commissioner Daniel Tunstall read the Consideration and Possible Action – Amendments to the Unified Development Code (UDC). P&Z Commissioner Mary Starr made

a motion to recommend approval, P&Z Vice-Chairperson Thomas Duncan seconded the motion.

**CONSIDERATION AND POSSIBLE ACTION – AMENDMENTS TO THE UNIFIED DEVELOPMENT CODE (UDC)**

A request of the City of Pearland to amend certain sections of the Unified Development Code, Ordinance No. 2000T.

P&Z Chairperson Daniel Tunstall concerns were with Section 4, Addition to Corridor Overlay on Manvel Road and FM 1128. Mayor Tom Reid comments were for existing businesses to receive help.

The motion was approved 6-0. P&Z Chairperson Daniel Tunstall, P&Z Vice-Chairperson Thomas Duncan, P&Z Commissioners Ginger McFadden, Troy Pradia, David Selsky and Mary Starr voted to approve.

P&Z Commissioner Daniel Tunstall read the Consideration and Possible Action – Zone Change Application No. Zone 16-00006. P&Z Commissioner David Selsky made the motion to postpone to September 26, 2016, P&Z Commissioner Troy Pradia seconded the motion. The vote was 6-0 to approve the motion. P&Z Chairperson Daniel Tunstall, P&Z Vice-Chairperson Thomas Duncan, P&Z Commissioners Ginger McFadden, Troy Pradia, David Selsky and Mary Starr voted to approve.

**CONSIDERATION AND POSSIBLE ACTION – ZONE CHANGE APPLICATION NO. ZONE 16-00006**

A request of City for approval of a change in zoning to amend the Stonebridge Planned Development to allow auto related uses by a Conditional Use Permit on properties designated General Business (GB); on approximately 123.33 acres of land.

**Legal Description:** Being a 39.50 tract of land being out of the D.H.M. Hunter Survey, Abstract 76, being a portion of the same 181.6209 acre survey as described in a deed dated June 4, 1981, from the C. H. Alexander Trust to Sue Alexander Morrison a.k.a. Susie Alexander Morrison, and recorded in Volume 1596, Page 93 et seq of the Brazoria County Deed Records (B.C.D.R.); and

Being a 83.83 acre tract of land being out of the D.H.M. Hunter Survey, Abstract 76 and the H.T. & B.R.R. Company Survey. Abstract 233. Being a portion of the same 181.6209 acre survey as described in a deed dated June 4, 1981, from the C.H. Alexander Trust to Sue Alexander Morrison, and recorded in Volume 1596, Page 93 et seq of the Brazoria County Deed Records (B.C.D.R.).

**General Location:** East and West sides of Pearland Parkway, North of Barry Rose Road

– Stonebridge Planned Development.

P&Z Commissioner Daniel Tunstall read the Consideration and Possible Action – Zone Change Application No. Zone 16-00007. P&Z Commissioner David Selsky made the motion to postpone to September 26, 2016, P&Z Commissioner Troy Pradia seconded the motion. The vote was 6-0 to approve the motion. P&Z Chairperson Daniel Tunstall, P&Z Vice-Chairperson Thomas Duncan, P&Z Commissioners Ginger McFadden, Troy Pradia, David Selsky and Mary Starr voted to approve.

### **CONSIDERATION AND POSSIBLE ACTION – ZONE CHANGE APPLICATION NO. ZONE 16-00007**

A request of the City for approval of a change in zoning to amend the Highland Glen Planned Development to allow auto related uses by a Conditional Use Permit on properties designated General Business (GB); on approximately 548.817 acres of land.

**Legal Description:** All that certain 527.062 acres out of the D.H.M. Hunter Survey, Abstract No. 76, Brazoria County and Abstract No. 36, Harris County and the H.T. & B.R.R. Survey, Abstract No. 233 and including all or a portion of Lots 6,7, and 15-18 out of Walcott's Pearland Subdivision according to the plat thereof filed in Volume 35, Page 241-242 Brazoria County Deed Records and a portion of Lots 96-102 out of the Zychlinski Subdivision according to the plat there of filed in Volume 29 Page 43 Brazoria County Deed Records and being those same tracts described in a deed dated 12-18-1996 from Thomas P. Alexander and Bettye M. Alexander to T. & B. Alexander Family Limited Partnership as filed in Official Records of Real Property of Brazoria County at Clerks File Number 96-044931 and in a deed dated 01-23-1992 from First Interstate Bank of Texas, N. A., to Nai Li Wang and Ban Wang as filed in Volume (92)997, Page 03 Brazoria County Official Records and in a deed dated 06-04-1981 from John Alexander, trustee to Patricia Alexander Wood as filed in Volume 1596, Page 110 Brazoria County Deed Records and being a residue of that certain tract described in a deed dated 09—6-1984 from Mary Alexander, et con, to Bartlett Properties, Inc. as filed in Official Records of Real Property of Harris County at Clerk's File Number J-724634 Film Code Number 096-85-0644; and

All that certain 15.755 acres out of Lots 30, 31, 32, 39 and 40, Walcott's Pearland Subdivision, according to the plat thereof filed in Volume 35, Page 241 & 242, Brazoria County Deed Records, D.H.M. Hunter Survey, Abstract Number 76, Pearland, Brazoria County, Texas; and

All that certain 6.000 acres out of Lots 42 and 43, Walcott's Pearland Subdivision, according to the plat thereof filed in Volume 35, Page 241 & 242, Brazoria County Deed Records, D.H.M. Hunter Survey, Abstract Number 76, Pearland, Brazoria County, Texas.

**General Location:** East and West sides of Pearland Parkway, South of McHard Road, Highland Glen Planned Unit Development.

P&Z Commissioner Daniel Tunstall read the Consideration and Possible Action – Zone Change Application No. Zone 16-00008. P&Z Commissioner David Selsky made the motion to postpone to September 26, 2016, P&Z Commissioner Troy Pradia seconded the motion. The vote was 6-0 to approve the motion. P&Z Chairperson Daniel Tunstall, P&Z Vice-Chairperson Thomas Duncan, P&Z Commissioners Ginger McFadden, Troy Pradia, David Selsky and Mary Starr voted to approve.

### **CONSIDERATION AND POSSIBLE ACTION – ZONE CHANGE APPLICATION NO. ZONE 16-00008**

A request of the City for approval of a change in zoning to amend the Oakbrook Estates Planned Unit Development to allow auto related uses by a Conditional Use Permit on properties designated General Business (GB); on approximately 548.817 acres of land.

**Legal Description:** A 120.417 acre tract in the W.D.C. Hall League, A-70 & parts of Lots 13-24, S.W. Narregang Subdivision, Volume 1, Page 92 & also parts of Lots 1 & 2, George W. Jenkins Subdivision, Volume 79, Page 616, Brazoria County Map Records (Oakbrook Estates)

**General Location:** East side of Pearland Parkway, North of Dixie Farm Road – Oakbrook Estates Planned Unit Development.

### **DISCUSSION ITEMS**

1. Commissioners Activity Report – P&Z Chairperson Daniel Tunstall traveled to Tennessee to visit cities without proper zoning (i.e. payday loans)
2. Zoning Update:  
2<sup>st</sup> Reading 7-25-16  
ZONE 2016-00005: 5134 Bailey Rd. SD to OP. **Approved**  
CUP 2016-00004: 5134 Bailey Rd. CUP for Daycare in OP. **Approved**  
SH 35 Re-Development Plan. **Approved**  
1<sup>st</sup> Reading 7-25-16  
ZONE 2016-00004: 3546/3618 Harkey R-1 to R-3 **Approved**
3. Next P&Z Meeting, – August 15, 2016 –Regular P&Z meeting
4. Upcoming meeting change notice:  
\*September 5, 2016 City Holiday – No P&Z Meeting  
\*September 26, 2016 – JPH and Regular P&Z meeting

### **ADJOURNMENT**

P&Z Chairperson Daniel Tunstall adjourned the P&Z Regular meeting at 8:35 p.m.

These minutes were respectfully submitted by:

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Alma Gonzales, Office Assistant

Minutes approved as submitted and/or corrected on this 6<sup>th</sup> day of June 2016, A.D.

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Daniel Tunstall, P & Z Chairperson

**MINUTES OF THE REGULAR MEETING OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF PEARLAND, TEXAS, MONDAY, OCTOBER 17, 2016 AT 7:47 P.M., HELD IN THE COUNCIL CHAMBERS, CITY HALL, 3519 LIBERTY DRIVE, PEARLAND, TEXAS**

**CALL TO ORDER**

P&Z Chairperson Daniel Tunstall opened the meeting for the P&Z Regular Meeting at 7:47 p.m.

In attendance were:

P&Z Chairperson Daniel Tunstall  
P&Z Vice-Chairperson Thomas Duncan  
P&Z Commissioner Derrell Isenberg  
P&Z Commissioner David Selsky  
P&Z Commissioner Mary Starr  
P&Z Commissioner Ginger McFadden

Also present were Deputy City Attorney Lawrence Provins, Community Development Director Lata Krishnarao, Senior Planner Martin Griggs, Associate Planner Vince Husted, Assistant Director of Engineering Richard Mancilla, Associate Engineer Matt Brown and Office Assistant Alma Gonzales.

**CONSENT AGENDA**

P&Z Chairperson Daniel Tunstall read the items for Consideration & Possible Action – Approval of Minutes for October 03, 2016 and Excused Absence of P&Z Commissioner Troy Pradia from the October 03, 2016 Regular P&Z Meeting – Final Plat of Bakers Landing Section 2A – Preliminary Plat of Savannah Parkway and Reserves from Laurel Heights Drive to Arrowhead Point Lane – Preliminary Plat of Stewart Heights at Savannah Section 6. P&Z Commissioner David Selsky made the motion to recommend approval, P&Z Commissioner Mary Starr seconded the motion. The motion passes 6-0.

P&Z Chairperson Daniel Tunstall read the Consideration and Possible Action – Final Plat of Lake Park Section 1, Phase 1. P&Z Commissioner Derrell Isenberg made the motion to approve, P&Z Commissioner Mary Starr seconded the motion.

**NEW BUSINESS**

**CONSIDERATION AND POSSIBLE ACTION – FINAL PLAT OF LAKE PARK SECTION 1, PHASE 1**

A request of Andrew Allemand, Windrose Land Services, the applicant; on behalf of James

Johnson, Cullin Stone Ltd. / FYCW, Ltd., owner; for approval of the Final Plat of Lake Park Subdivision Section 1, Phase 1, creating 2 lots, on 30.6687 acres of land on the north side of Brookside Road in the 8000 block, described to wit:

**Legal Description:** A subdivision of 30.6687 acres / 1,335,927 square feet of land, situated in the W.T. Dobson Survey, Abstract No. 187, City of Pearland, Brazoria County, Texas.

**General Location:** North side of Brookside Road in the 8000 block.

Associate Planner Vince Hustead gave a brief presentation with exhibits. Staff recommends approval with the following conditions:

The escrow account for public improvements is required to be funded prior to Planning and Zoning Commission approval. Deed of Trust needs to be recorded after the final plat is approved. Once the applicant closes on the property, this will be substituted for an escrow agreement similar to the one for off-site public improvements, pursuant to agreement dated March 21, 2016.

P&Z Chairperson Daniel Tunstall is for the recommendations but disagrees with the platting process and escrow agreements.

The motion passes 6-0. P&Z Chairperson Daniel Tunstall, P&Z Vice-Chairperson Thomas Duncan, P&Z Commissioners Mary Starr, Ginger McFadden, David Selsky and Derrell Isenberg voted to approve.

P&Z Chairperson Daniel Tunstall read the Consideration and Possible Action Final Plat of Lake Park Section 1, Phase 2. P&Z Commissioner David Selsky made the motion to approve, P&Z Commissioner Mary Starr seconded the motion.

## **NEW BUSINESS**

### **CONSIDERATION AND POSSIBLE ACTION – FINAL PLAT OF LAKE PARK SECTION 1, PHASE 2**

A request of Andrew Allemand, Windrose Land Services, the applicant; on behalf of James Johnson, Cullen Stone Ltd. / FYCW, Ltd., owner; for approval of the Final Plat of Lake Park Subdivision Section 1, Phase 2, creating 2 lots, on 5.0019 acres of land on the east side of Cullen Parkway at Brookside Road, described to wit:

**Legal Description:** A subdivision of 5.0019 acres / 217,884 square feet of land, situated in the W.T. Dobson Survey, Abstract No. 187, City of Pearland, Brazoria County, Texas.

**General Location:** East side of Cullen Parkway at Brookside Road.

Associate Planner Vince Hustead gave a brief presentation with exhibits. Staff recommends approval with the following conditions:

The escrow account for public improvements is required to be funded prior to Planning and Zoning Commission approval. Deed of Trust needs to be recorded after the final plat is approved. Once the applicant closes on the property, this will be substituted for an escrow agreement similar to the one for off-site public improvements, pursuant to agreement dated March 21, 2016.

No additional discussion than previously noted from the P&Z Commission.

The motion passes 6-0. P&Z Chairperson Daniel Tunstall, P&Z Vice-Chairperson Thomas Duncan, P&Z Commissioners Mary Starr, Ginger McFadden, David Selsky and Derrell Isenberg voted to approve.

P&Z Chairperson Daniel Tunstall read the Consideration and Possible Action Final Plat of Lake Park Section 3, Phase 2. P&Z Commissioner David Selsky made the motion to approve, P&Z Commissioner Mary Starr seconded the motion.

## **NEW BUSINESS**

### **CONSIDERATION AND POSSIBLE ACTION – FINAL PLAT OF LAKE PARK SECTION 1, PHASE 3**

A request of Andrew Allemand, Windrose Land Services, the applicant; on behalf of James M. Johnson, Pearland Cullen Properties, LLC, owner; for approval of the Final Plat of Lake Park Subdivision Phase 1, Section 3, creating 1 lot on .9999 acres of land located on the east side of Cullen Parkway about 1,000 feet north of Brookside Road, described to wit:

**Legal Description:** A subdivision of 0.9999 acres / 43,557 square feet of land, situated in the W.T. Dobson Survey, Abstract No. 187, City of Pearland, Brazoria County, Texas.

**General Location:** East side of Cullen Parkway about 1,000 feet north of

Associate Planner Vince Hustead gave a brief presentation with exhibits. Staff recommends approval with the following conditions:

The escrow account for public improvements is required to be funded prior to Planning and Zoning Commission approval. Deed of Trust needs to be recorded after the final plat is approved. Once the applicant closes on the property, this will be substituted for an escrow agreement similar to the one for off-site public improvements, pursuant to agreement dated March 21, 2016.

No additional discussion than previously noted from the P&Z Commission.

The motion passes 6-0. P&Z Chairperson Daniel Tunstall, P&Z Vice-Chairperson Thomas Duncan, P&Z Commissioners Mary Starr, Ginger McFadden, David Selsky and Derrell Isenberg voted to approve.

P&Z Chairperson Daniel Tunstall read the Consideration and Possible Action Final Plat of Lake Park Section 1, Phase 4. P&Z Commissioner David Selsky made the motion to approve, P&Z Commissioner Mary Starr seconded the motion.

## **NEW BUSINESS**

### **CONSIDERATION AND POSSIBLE ACTION – FINAL PLAT OF LAKE PARK SECTION 1, PHASE 4**

A request of Andrew Allemand, Windrose Land Services, the applicant; on behalf of James Johnson, Cullen Stone Ltd., owner; for approval of the Final Plat of Lake Park Section 1, Phase 4, creating 1 restricted reserve, on 3.1609 acres of land on the east side of Cullen Parkway about 1,800 feet north of Brookside Road, described to wit:

**Legal Description:** a subdivision of 3.1609 acres / 137,689 square feet of land, situated in the W.T. Dobson Survey, Abstract No. 187, City of Pearland, Brazoria County, Texas.

**General Location:** on the east side of Cullen Parkway about 1,800 feet north of Brookside Road.

Associate Planner Vince Hustead gave a brief presentation with exhibits. Staff recommends approval with the following conditions:

The escrow account for public improvements is required to be funded prior to Planning and Zoning Commission approval. Deed of Trust needs to be recorded after the final plat is approved. Once the applicant closes on the property, this will be substituted for an escrow agreement similar to the one for off-site public improvements, pursuant to agreement dated March 21, 2016.

No additional discussion than previously noted from the P&Z Commission.

The motion passes 6-0. P&Z Chairperson Daniel Tunstall, P&Z Vice-Chairperson Thomas Duncan, P&Z Commissioners Mary Starr, Ginger McFadden, David Selsky and Derrell Isenberg voted to approve.

P&Z Chairperson Daniel Tunstall read Consideration and Possible Action – Conditional Use Permit Application No. CUP 2016-00007. P&Z Vice-Chairperson Thomas Duncan made the motion to approve, P&Z Commissioner Derrell Isenberg seconded the motion

## **NEW BUSINESS**

### **CONSIDERATION AND POSSIBLE ACTION – CONDITIONAL USE PERMIT APPLICATION NO. CUP 2016-00007**

A request of Leslie K Padilla, for Sovereign Grace Church of Pearland, applicant, on behalf of Pearland Westside II Associates, LP, owner; for approval of a Conditional Use Permit to allow for a church in the Neighborhood Services (NS) zoning district; on approximately 0.846 acres of land.

**Legal Description:** A certain 218.00 by 169.00 tract of land out of a tract "A" of the West Side Plaza adjoining McLean Road on the East and Walnut Street (F.M. 518) on the north, said tract containing 0.846 acre, more or less.

**General Location:** 5004 Broadway Street, Pearland, TX.

No discussion from the P&Z Commission.

The motion passes 6-0. P&Z Chairperson Daniel Tunstall, P&Z Vice-Chairperson Thomas Duncan, P&Z Commissioners Mary Starr, Ginger McFadden, David Selsky and Derrell Isenberg voted to approve.

P&Z Chairperson Daniel Tunstall read Consideration and Possible Action – Conditional Use Permit Application No. CUP 2016-00008. P&Z Vice-Chairperson Thomas Duncan made the motion to approve, P&Z Commissioner Ginger McFadden seconded the motion.

## **NEW BUSINESS**

### **CONSIDERATION AND POSSIBLE ACTION – CONDITIONAL USE PERMIT APPLICATION NO. CUP 2016-00008**

A request of Jose Urioste, applicant, on behalf of Rafael Ortega, owner; for approval of a Conditional Use Permit to allow for a grocery store and general retail in the Light Industrial (M-1) zoning district; on approximately 1.99294 acres of land.

**Legal Description:** All of that certain 1.99294 acre tract or parcel of land in the A.C.H. & B. Survey, Section 1, Abstract No. 147 in Brazoria County, Texas, being a portion of the North one-half of tract 123 of the subdivision of the A.C.H. & B. Survey, Section 1 according to the plat of same recorded in Volume 2, Page 1 of the Plat Records of Brazoria County, Texas, said tract being that portion of the north one-half of Tract 123 lying West of State Highway No. 35 (a.k.a Main Street)

**General Location:** 3200 block of Main Street, south of Swensen Road, on the west side

of Main Street.

The General Contractor, Jose Urioste, 3239 Frick Rd., Houston, TX 77086, gave a brief explanation for the reason he was able to make a presentation during the public hearing meeting.

P&Z Vice-Chairperson Thomas Duncan had concerns with the site plan not being ready. P&Z Chairperson Daniel Tunstall commented that the said property being proposed was not part of the Bakers Landing Development.

The motion was opposed 0-6. P&Z Chairperson Daniel Tunstall, P&Z Vice-Chairperson Thomas Duncan, P&Z Commissioners Mary Starr, Ginger McFadden, David Selsky and Derrell Isenberg were not in favor.

P&Z Chairperson Daniel Tunstall read the Consideration and Possible Action – Zone Change Application No. Zone 2016-00013 and informed the P&Z Commission that the application has been postponed and no further action would be necessary at this time.

P&Z Chairperson Daniel Tunstall read the Discussion Items

## **DISCUSSION ITEMS**

1. Commissioners Activity Report - NONE
2. Zoning Update:
  - 1<sup>st</sup> Reading 10-10-16
  - ZONE 2016-00006: Stonebridge PD amendment - 2<sup>nd</sup> Reading will be on 10/24/16
  - ZONE 2016-00007: Highland Glen PD amendment– 2<sup>nd</sup> Reading will be on 10/24/16
  - ZONE 2016-00008: Oakbrook PD amendment-2<sup>nd</sup> Reading will be on 10/24/16
  - CUP 2016-00003: 8541 Broadway St. - CUP for Hotel/motel in GB-Opposed on 1<sup>st</sup> Reading
  - CUP 2016-00005: 2125 Garden Rd. - CUP for Light manufacturing in G/O-MU – In Favor at the 1<sup>st</sup> Reading.
  - CUP 2016-00006: 3401 S. Main St. - CUP for Forklift in GC – In Favor at the 1<sup>st</sup> Reading
  - UDC T-22 – Manvel Rd to COD – In Favor at the 1<sup>st</sup> Reading
  - UDC T-23 – Lighting, Liquor, and E-Cigarette lounges – Lighting UDC pulled for a separate amendment
3. Next P&Z Meeting, – November 7, 2016 – Regular P&Z meeting (plats only) – All Commissioners will attend.

## **ADJOURNMENT**

P&Z Chairperson Daniel Tunstall adjourned the P&Z Regular meeting at 8:07 p.m.

These minutes were respectfully submitted by:

---

Alma Gonzales, Office Assistant

Minutes approved as submitted and/or corrected on this 17th day of October 2016, A.D.

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Daniel Tunstall, P & Z Chairperson

**MINUTES OF THE REGULAR MEETING OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF PEARLAND, TEXAS, MONDAY, NOVEMBER 07, 2016, AT 6:30 P.M., HELD IN THE COUNCIL CHAMBERS, CITY HALL, 3519 LIBERTY DRIVE, PEARLAND, TEXAS**

**CALL TO ORDER**

P&Z Chairperson Daniel Tunstall opened the meeting for the P&Z Regular Meeting at 6:30 p.m.

In attendance were:

P&Z Chairperson Daniel Tunstall  
P&Z Vice-Chairperson Thomas Duncan  
P&Z Commissioner Derrell Isenberg  
P&Z Commissioner Ginger McFadden  
P&Z Commissioner David Selsky  
P&Z Commissioner Mary Starr  
P&Z Commissioner Troy Pradia

Also present were Deputy City Attorney Lawrence Provins, Community Development Director Lata Krishnarao, Sr. Planner Martin Griggs, Assistant Director of Engineering Richard Mancilla, Associate Engineer Matt Brown and Office Assistant Alma Gonzales.

**CONSENT AGENDA**

P&Z Chairperson Daniel Tunstall read the items on the consent agenda. P&Z Commissioner David Selsky made a motion to approve the items on the consent agenda, P&Z Commissioner Mary Starr seconded the motion. The motion passes by a vote of 7-0. P&Z Chairperson Daniel Tunstall, P&Z Vice-Chairperson Thomas Duncan, P&Z Commissioners Derrell Isenberg, Ginger McFadden, David Selsky, Mary Starr and Troy Pradia voted in favor of the motion.

**CONSIDERATION & POSSIBLE ACTION – EXCUSED ABSENCE**

1. Excuse the absence of P&Z Commissioner Troy Pradia from the October 17, 2016 P&Z Regular Meeting.

**CONSIDERATION & POSSIBLE ACTION – FINAL PLAT OF AFTON LAKE**

A request of Donna Eckels, PRO-SURV, the applicant; on behalf of Chad Thumann, Afton Lake, LLC, owner; for approval of the Final Plat of Afton Lake creating 30 single family lots and 5 reserves on 16.5513 acres of land at 6909 Broadway Street, described to wit:

**Legal Description:** part of Section 15, H.T. & B.R.R, Co. Survey, Abstract #241, Brazoria County, Texas, Vol.-441, Pg-265 D.R.B.C.

**General Location:** 6906 Broadway Street

**CONSIDERATION AND POSSIBLE ACTION – FINAL PLAT OF SHADOW GROVE SECTION 4**

A request of Jason Price, LJA Engineering the applicant; on behalf of Thomas Sikora, KB Home, owner; for approval of the Final Plat of Shadow Grove Section Four, creating 52 single family lots and 1 reserve on 12.846 acres of land located at the end of Bailey Springs Lane west of Windward Bay Drive, described to wit:

**Legal Description:** a subdivision of 12.846 acres of land situated in the A.B. Langerman Survey, Abstract 555, Fort Bend County, Texas

**General Location:** the end of Bailey Springs Lane west of Windward Bay Drive.

**CONSIDERATION AND POSSIBLE ACTION – FINAL PLAT OF SHADOW GROVE SECTION 5**

A request of Jason Price, LJA Engineering, the applicant; on behalf of Thomas Sikora, KB Home, owner; for approval of the Final Plat of Shadow Grove Section Five, creating 18 single family lots, on 4.356 acres of land located at the end of Vintage View Lane west of Shadow Oaks Lane, described to wit:

**Legal Description:** a subdivision of 4.356 acres of land situated in the A.B. Langerman Survey, Abstract 555, Fort Bend County, Texas

**General Location:** the end of Vintage View Lane west of Shadow Oaks Lane.

**NEW BUSINESS**

P&Z Chairperson Daniel Tunstall read the P&Z Variance No. VARP 16-00006. Vice-Chairperson Thomas Duncan made a motion to approve and P&Z Commissioner Mary Starr seconded the motion.

**CONSIDERATION AND POSSIBLE ACTION – P&Z VARIANCE NO. VARP 16-00006**

A request by Jody Herrera, applicant for approval of a Variance Permitted in Section 2.2.5.2 (a) (4), of the Unified Development Code, Ordinance No. 2000-T, to reduce the minimum lot width from 70 feet to 50 feet for Lots 17 and 18A, Block 1, Section 2, Clear Creek Estates, to reduce the minimum lot area from 7,000 square feet to 5,250 square feet for Lot 17 and to reduce the minimum lot area from 7,000 square feet to 5,500 square feet

for Lot 18A located on .121 acres of land north and west of the Glenda Street and Knapp Road intersection described, to wit:

**Legal Description:** Lots 17 and 18A, Block 1, Section 2, Clear Creek Estates.

**General Location:** northwest quadrant of Glenda Street and Knapp Road.

Senior Planner Martin Griggs gave a brief presentation and exhibits. Staff recommends approval of the requested variance to reduce the minimum lot frontage from 70 feet to 50 feet for Lot 17. Staff does not recommend approval of the lot width variance for Lot 18 A and Staff does not recommend approval of the variance from the minimum lot area for Lots 17 and 18A for the following:

If the variance from the minimum lot width is granted for Lot 17, the two lots could be combined into one lot without the necessity of granting the addition variance from the minimum lot width. The property is zoned R-2, and the variance if approved would create lots that are not in conformance with the minimum lot area required. The surroundings residential lots are all zoned R-2 and a majority of those lots have areas that typically meet or exceed the minimum lot area requirements. Granting this variance would result in two lots that would be smaller than the surrounding lots. The request does not meet the variance criteria as per the UDC.

The applicant, Jody Herrera, 1807 Branch Hill Dr., Pearland TX 77581 explained to P&Z Commission his intents to build on Lot 17 in the future but was not clear if he would be able to build on Lot 18. Discussion ensued with the P&Z Commission regarding the platting and size of the lots. Deputy City Attorney Lawrence Provins informed to P&Z Commission the platting of the lots were originally recorded in 1955. P&Z Chairperson Daniel Tunstall recommends a variance on one lot. Mr. Provins explained conditions of combining both lots would meet the requirements. All P&Z Commissioners agrees to make a motion to amend the variance for Lot 17.

Vice-Chairperson Thomas Duncan makes the motion to amend the P&Z Variance No. VARP 16-00006 for Lot 17. P&Z Commissioner David Selsky seconded the motion. The motion passes 7-0 to amend the P&Z Variance No. VARP 16-00006 with Staff recommendations. P&Z Chairperson Daniel Tunstall, P&Z Vice-Chairperson Thomas Duncan, P&Z Commissioners Derrell Isenberg, Ginger McFadden, David Selsky, Mary Starr and Troy Pradia voted in favor of the motion.

## **DISCUSSION ITEMS**

1. Commissioners Activity Report - NONE
2. Next P&Z Meeting, – November 21, 2016 – JPH and Regular P&Z meeting  
P&Z Chairperson Daniel Tunstall and P&Z Commissioners David Selsky and Ginger McFadden will not be in attendance for the November 21, 2016 JPH and Regular P&Z Meeting.

**ADJOURNMENT**

P&Z Chairperson Daniel Tunstall adjourned the P&Z Regular meeting at 6:53 p.m.

These minutes were respectfully submitted by:

\_\_\_\_\_  
Alma Gonzales, Office Assistant

Minutes approved as submitted and/or corrected on this 17th day of October 2016, A.D.

\_\_\_\_\_  
Daniel Tunstall, P & Z Chairperson

## **III. NEW BUSINESS**

**A. CONSIDERATION AND  
POSSIBLE ACTION – ZONE  
CHANGE APPLICATION NO.  
CUP 16-00009**

A request of Arne Pepin,  
applicant/owner; for approval of a  
Conditional Use Permit to allow for a tool  
and machinery rental with outdoor  
storage in the General Commercial  
(GC) zoning district; on approximately  
4.694 acres of land.



**JOINT PUBLIC HEARING**  
THE CITY COUNCIL CITY AND THE PLANNING AND ZONING COMMISSION OF  
THE CITY OF PEARLAND, TEXAS,  
**MONDAY, NOVEMBER 21, 2016, AT 6:30 P.M.**  
COUNCIL CHAMBERS - CITY HALL-3519 LIBERTY DRIVE

**I. CALL TO ORDER**

**II. PURPOSE OF HEARING**

**Conditional Use Permit Application No. CUP 16-00009**

A request of Arne Pepin, applicant/owner; for approval of a Conditional Use Permit to allow for a tool and machinery rental with outdoor storage in the General Commercial (GC) zoning district; on approximately 4.694 acres of land.

**Legal Description:** Being 4.694 acres (204,491 square feet) of land situated in the northeast one-quarter of Section 17, H. T. & B. RR Co. Survey, Abstract No. 242, Brazoria County, Texas, and being a part of the land described in Vol. 103, Page 156 and also part of the land described in Vol. 233, Page 452 of the Deed Records of Brazoria County, Texas.

**General Location:** 2932 Manvel Road, Pearland, TX.

**III. APPLICATION INFORMATION AND CASE SUMMARY**

- A. STAFF REPORT
- B. APPLICANT PRESENTATION
- C. STAFF WRAP UP

**IV. PERSONS WISHING TO SPEAK FOR OR AGAINST THE PROPOSED REQUEST**

**V. COUNCIL/PLANNING COMMISSION/STAFF DISCUSSION**

**VI. ADJOURNMENT**

**This site is accessible to disabled individuals. For special assistance, please call Young Lorfing, City Secretary, at 281-652-1655 prior to the meeting so that appropriate arrangements can be made.**



# Staff Report

To: City Council and Planning and Zoning Commission

From: Planning Department

Date: November 21, 2016

Re: Conditional Use Permit Application No. CUP 16-00009

A request of Arne Pepin, applicant/owner; for approval of a Conditional Use Permit to allow for a tool and machinery rental with outdoor storage in the General Commercial (GC) zoning district; on approximately 4.694 acres of land.

General Location: 2932 Manvel Road

## **Summary of Request**

This request is for approval of a Conditional Use Permit (CUP) to allow tool and machinery rental with outdoor storage within the General Commercial (GC) district. The applicant is proposing to remove the former dirt bike track from the site that has been vacant for approximately two years and construct a paved parking area on the subject property to use as a facility to store trucks and trailers for rental. The subject property is surrounded by primarily residential developments and vacant property. The actual use of the property is a drop-off site for large trailers to serve as a halfway point between sites. There is no proposed structures to be located on the site.

## **Recommendation**

Staff does not recommend approval of the requested CUP to allow a tool and machinery rental with outdoor storage use on the approximately 4.694 acre site for the following reasons:

1. The proposed use is not in conformance with the Future Land Use Plan (FLUP). The FLUP designates this property as Retail, Offices, and Services which is described as suitable for a variety of office and retail development. The proposed use, however, is more of a heavy commercial or light industrial use.
2. The existing uses in the surrounding area include several housing developments. There are no like or similar uses in the area and therefore this site is not suitable for that intensity of use.
3. The proposed conditional use permit would not have a positive impact on promoting future development along Manvel Road. The surrounding area is mostly developed with single family residential homes and institutional uses. The

zoning in the area is intended to promote retail, offices, and services along the Manvel Road. The proposed use would not support the neighboring residential needs and would not be compatible to the uses along Manvel Road, or be appropriate on Manvel Road which also serves as an entry to the City.

If the CUP is approved, staff recommends the following items be addressed in the site plan:

1. Existing track lighting to be removed.
2. Existing barbed wire fence to be replaced with a fence that meets the UDC.
3. All other conditions of the UDC be met.

### **Site History**

The subject property is currently developed with a vacant dirt bike track and zoned GC. The property is surrounded by a variety of low density residential, low intensity commercial uses, and some vacant property.

The site is bounded by General Business (GB) to the north and south, Townhouse Residential (TH) to the west, and Single-Family Residential (R-1) zoning the east. The below table identifies surrounding uses and zoning districts:

|              | <b>Zoning</b>                       | <b>Land Use</b>                       |
|--------------|-------------------------------------|---------------------------------------|
| <b>North</b> | General Business (GB)               | Retail Feed Store                     |
| <b>South</b> | General Business (GB)               | Vacant / Residential                  |
| <b>East</b>  | Single-Family Residential-1 (R-1)   | Vacant / Residential / Auto Collision |
| <b>West</b>  | Townhouse Residential District (TH) | Vacant                                |

### **Conformance with the Comprehensive Plan**

The current zoning is not in conformance with the Future Land Use Plan (FLUP). FLUP designates this property as Retail, Offices, and Services which is described as suitable for a variety of office and retail development. The proposed use, however, is more of a heavy commercial or light industrial use. The Comprehensive Plan recommends buffers should separate commercial and industrial areas from residential areas. The surrounding area includes several housing developments and not suitable for more industrial uses.

### **Conformance with the Thoroughfare Plan**

The subject property is located along Manvel Road. According to City records, Manvel Road is a Major Thoroughfare to be widened. Major Thoroughfares are defined as having a minimum right-of-way of 120 feet. City records indicate that Manvel currently has a right-of-way of approximately 90 feet and is currently not in conformance with the Thoroughfare Plan.

### **Conformance with the Unified Development Code**

The property is currently developed as a former dirt bike track. Upon discussion of the use in detail with the applicant, the proposed use was classified under the category of *tool and machinery rental with outdoor storage*, which requires a CUP in this zone. The actual use of the property is a drop-off site for large trailers to serve as a halfway drop off zone between sites. There is no proposed structures to be located on the site. The proposal looks to keep the existing fencing which is not in conformance with the requirements of the UDC.

The property is directly adjacent to Manvel Road which was recently added to the list of major thoroughfares with Corridor Overlay District (COD) requirements. Any new development would be required to be in compliance with the COD requirements in addition to other UDC requirements. The COD requires a higher standard for aesthetics, function, and safety of developments with frontage along specified Major Thoroughfares. At this time, the proposed site plan proposes larger caliper inch trees than the minimum required and provides a larger minimum front setback for parking than required.

The lot requirements of the proposed GC zoning district are provided in the following table. The lot meets the UDC requirements.

| <b>General Commercial (GC) Area Regulations</b> |                 |                 |
|---|-----------------|-----------------|
| <b>Size of Lot</b>                              | <b>Required</b> | <b>Proposed</b> |
| <b>Minimum Lot Size</b>                         | 22,500 sq. ft.  | 204,491 sq. ft. |
| <b>Minimum Lot Width</b>                        | 150 ft.         | 206 ft.         |
| <b>Minimum Lot Depth</b>                        | 125 ft.         | 990 ft.         |
| <b>Minimum Caliper</b>                          | 2 inch          | 3 inch          |
| <b>Minimum Parking Lot Setback</b>              | 30 ft.          | 130 ft.         |

### **Platting Status**

The subject property is not currently platted. Platting will be required prior to development of the site.

### **Availability of Utilities**

The subject property has access to City water and sanitary sewer infrastructure. A 12-inch water line exists along the east side of Manvel Road. An 18-inch sanitary sewer line also runs along the west side of the street.

### **Impact on Existing and Future Development**

The proposed conditional use permit would not have a positive impact on promoting future retail, office, and service uses along Manvel Road. The surrounding area is mostly developed with single family residential homes on a variety of different sized lots. Manvel Road also house a few religious and educational institutions, including three schools. The zoning in the area is intended to promote retail and office uses along the Manvel Road corridor. The proposed parking lot to store truck and trailers would not support the neighboring residential needs, and would not be compatible to the uses on Manvel Road, or be appropriate on Manvel Road that also serves as a major thoroughfare and an entry to the City.

### **Additional Comments**

The request has been reviewed by the City's Development Review Committee (DRC), and there were no additional comments from other departments at the time of this report.

### **Public Notification**

Staff sent public notices, comment forms and a vicinity map to the applicant, the owner of the property and to property owners within 200 feet of the subject property under consideration for the zone change. Additionally, a legal notice of the public hearing was published in the local newspaper, and a notification sign was placed on the property by the applicant.

### **Opposition to or Support of Proposed Request**

Staff has not received any returned notices in opposition to or in support of the proposed change in zoning request.

### **Exhibits**

1. Aerial Map
2. Zoning Map
3. Future Land Use Map
4. Notification Map
5. Notification List
6. Applicant Packet



# Exhibit 1

**AERIAL MAP**

**CUP 16-00009**

**2932 Manvel Road**

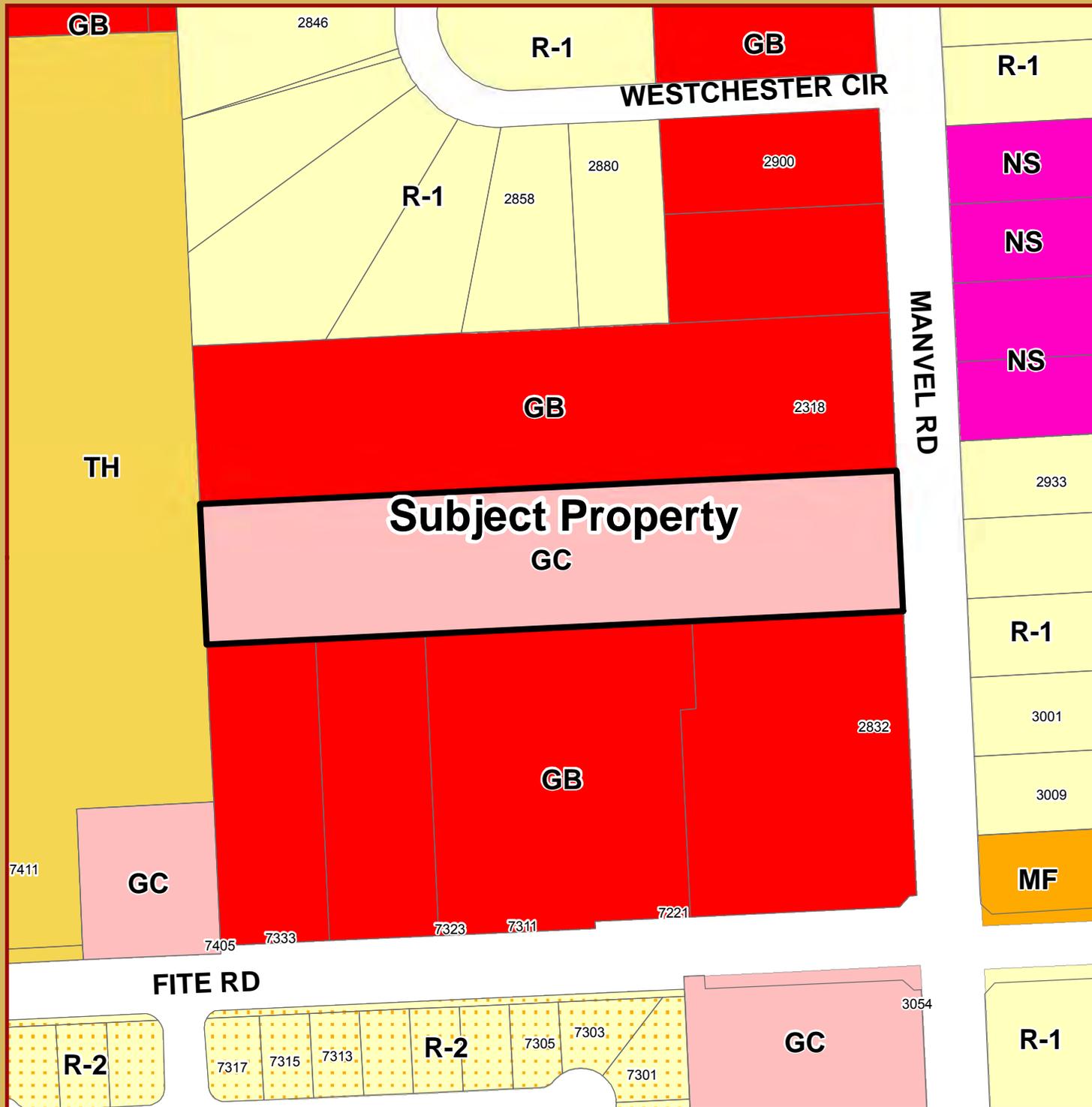


This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

1 inch = 200 feet

OCTOBER 2016  
PLANNING DEPARTMENT





# Exhibit 2

## ZONING MAP

CUP 16-00009

2932 Manvel Road

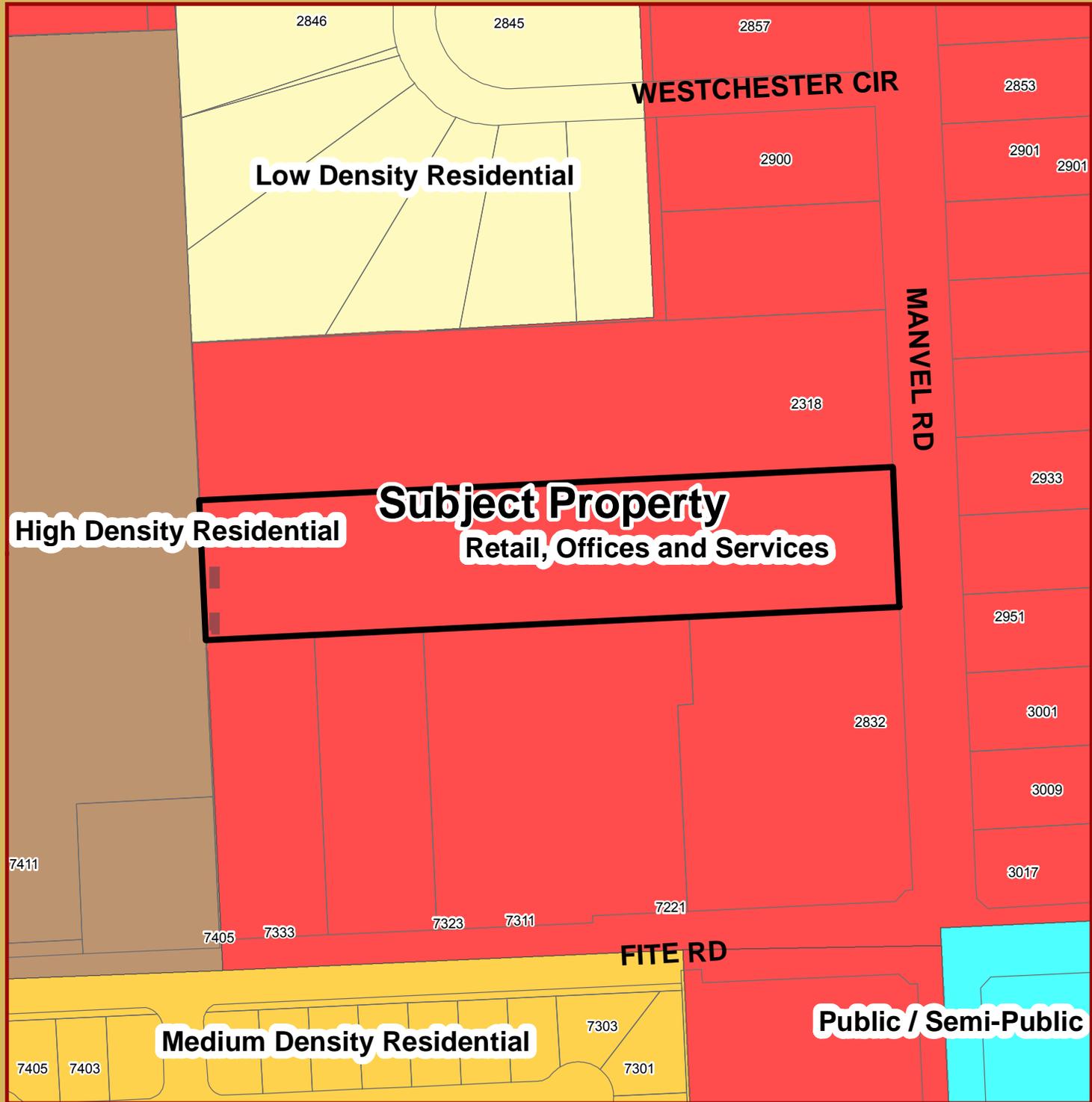


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1 inch = 200 feet

OCTOBER 2016  
PLANNING DEPARTMENT





**Exhibit 3**

**FLUP MAP**

**CUP 16-00009**

**2932 Manvel Road**

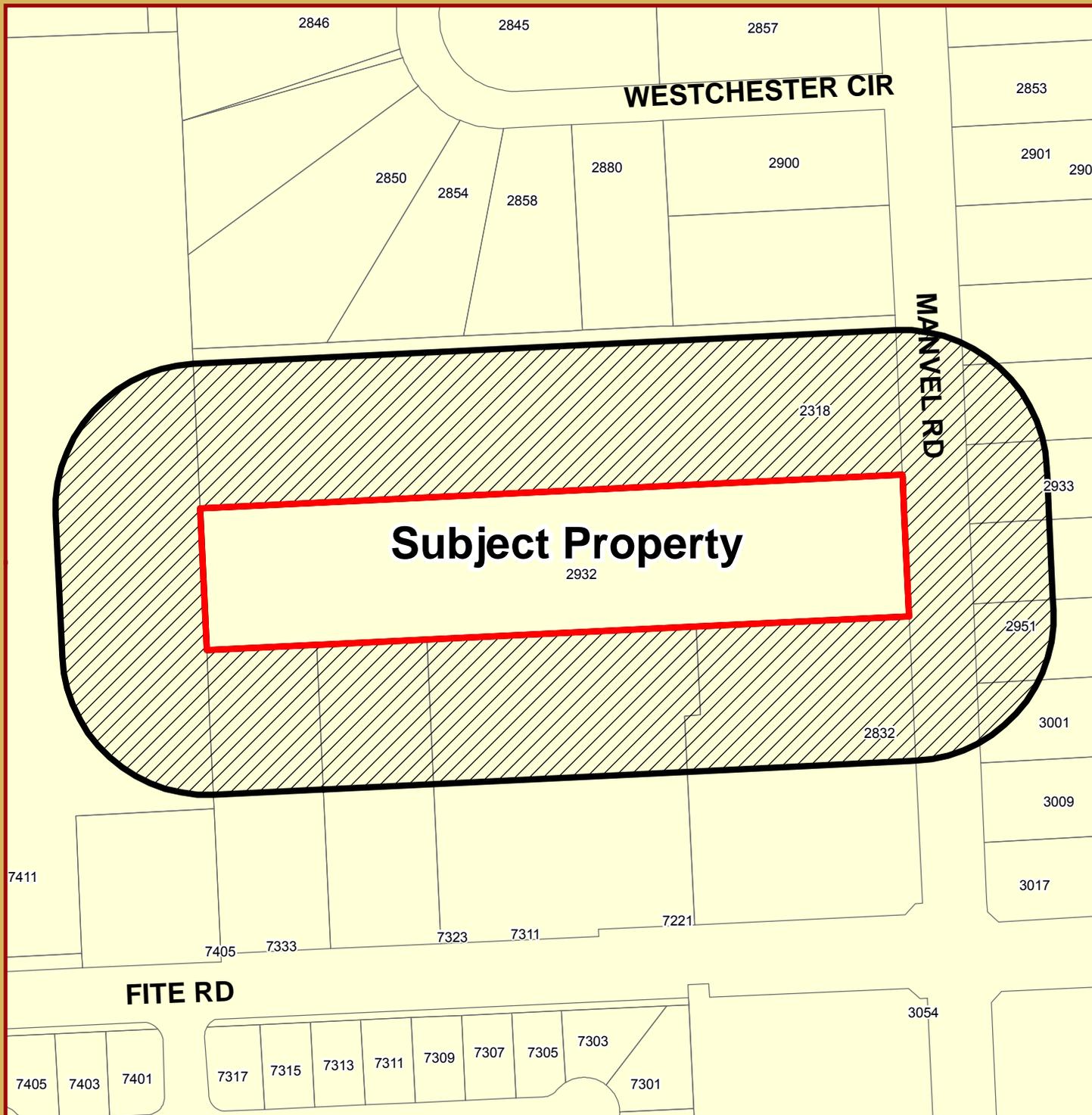


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1 inch = 200 feet

OCTOBER 2016  
PLANNING DEPARTMENT





# Exhibit 4

## NOTIFICATION MAP

CUP 16-00009

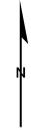
2932 Manvel Road



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1 inch = 200 feet

OCTOBER 2016  
PLANNING DEPARTMENT



**Exhibit 5**

CUP 16-00009

| <b>Property_Owner</b>                 | <b>Address</b>          | <b>City</b>     | <b>State</b> | <b>Zip_Code</b> |
|---------------------------------------|-------------------------|-----------------|--------------|-----------------|
| DOLAN EUGENE                          | 3849 AUBRELL RD         | PEARLAND        | TX           | 77584           |
| HAWK WILLIAM F                        | PO BOX 824              | ROSHARON        | TX           | 77583           |
| MILLER JERRY A & WANDA M              | 4819 CHANTILLY LN       | HOUSTON         | TX           | 77092           |
| MONTIGNY CORPORATION                  | 2626 LANDERA CT         | PEARLAND        | TX           | 77584           |
| <b>PEPIN ARNE W &amp; CONSTANCE M</b> | <b>2933 MANVEL RD</b>   | <b>PEARLAND</b> | <b>TX</b>    | <b>77584</b>    |
| PHE-1128 PARTNERS LTD                 |                         |                 |              |                 |
| ROSA JOSE DAVID                       | 11410 SHARPVIEW DR      | HOUSTON         | TX           | 77072           |
| SIGNATURE EUBANKS & ASSOCIATES        | 9337B KATY FREEWAY #377 | HOUSTON         | TX           | 77024           |
| SLAFKA CYRIL M                        | 709 PINEY RIDGE DR      | FRIENDSWOOD     | TX           | 77546           |



City of Pearland  
Community Development  
3523 Liberty Drive  
(Community Center)  
Pearland, Texas 77581  
281-652-1768  
281-652-1702 fax  
www.cityofpearland.com

# APPLICATION FOR A CONDITIONAL USE PERMIT (CUP)

Conditional Use Permit Request for: Tool and Machinery Rental with Outdoor Storage  
~~Logistics Trucking Company~~  
(list proposed use from the Table of Uses of the UDC) |

Current Zoning District: General Commercial

Property Information:

Address or General Location of Property: 2932 Manvel Rd.

Tax Account No. 02420018000

Subdivision: \_\_\_\_\_ Lot: \_\_\_\_\_ Block: \_\_\_\_\_

A complete application must include all information shown on the Application Checklist attached to this application.

PROPERTY OWNER INFORMATION:

NAME ARNE PEPIN  
ADDRESS 2933 Manvel Rd  
CITY Pearland STATE TX ZIP 77584  
PHONE (281) 684-4382  
FAX( ) \_\_\_\_\_  
E-MAIL ADDRESS pearlandbmx@yahoo.com

APPLICANT/AGENT INFORMATION:

NAME BO FABER  
ADDRESS 2734 Sunrise Blvd, Ste 208  
CITY Pearland STATE Tx ZIP 77584  
PHONE (281) 840-2048  
FAX (832) 201-8309  
E-MAIL ADDRESS bfaber@kwcommercial.com

\*Property owner must be the current owner of the property at the time of submittal of the application, and not the party that has the property under contract.

As owner and applicant, I hereby request approval of the above described request as provided for by the Unified Development Code of the City of Pearland.

Owner's Signature: [Signature] Date: 10-17-16

Agent's/  
Applicant's Signature: [Signature] Date: 10/31/16

OFFICE USE ONLY:

|            |            |              |                 |
|------------|------------|--------------|-----------------|
| FEES PAID: | DATE PAID: | RECEIVED BY: | RECEIPT NUMBER: |
|------------|------------|--------------|-----------------|

Application No. CUP 16-00009



October 31, 2016

City of Pearland  
Planning Department  
3519 Liberty Dr.  
Pearland, Texas 77581  
(281) 652-1740

**RE: Letter of Intent to request Conditional Use Permit (CUP) to for the General Commercially Zoned (tool and machinery rental with outdoor storage) property located at 2932 Manvel Road, 4.69 acres, being Lot 4 242 H T & B, in Pearland, Texas 77581.**

To Whom It May Concern,

Central Pony Express desires to purchase the property located at 2932 Manvel Rd. to serve as their Southeastern Hub. The 4.69 acres will be used to facilitate and store their empty hauling trailers in between deliveries.

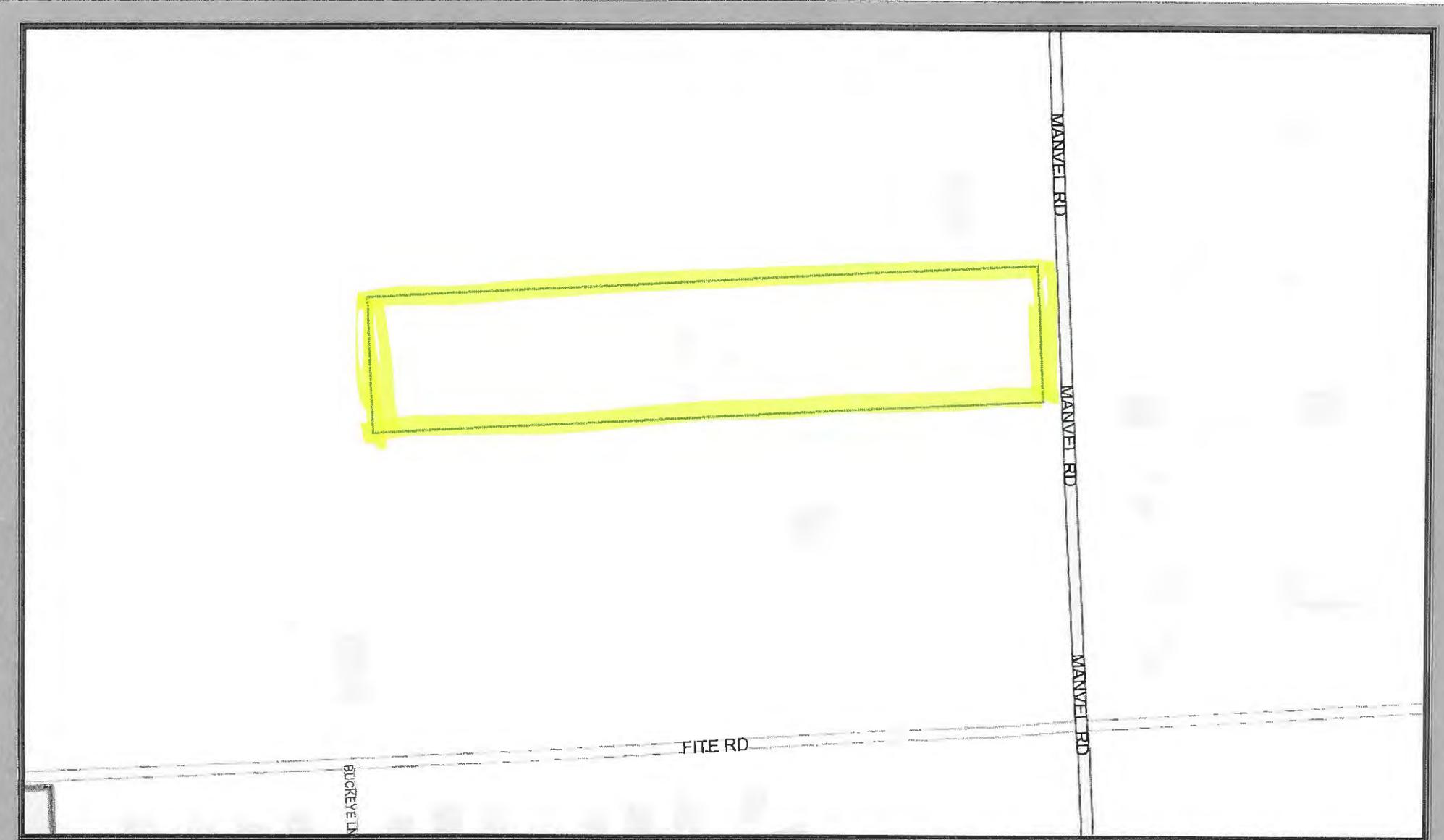
The existing structures and BMX track will be removed and the property will be improved in accordance of The City of Pearland UDC, executed contract and attached site plan per city approval. Please feel free to contact me if you have any questions or require any further information.

Kind Regards,

Bo Faber  
KW Commercial  
(281) 670-1844  
bfaber@kwcommercial.com

KELLER WILLIAMS® HOUSTON PREFERRED  
2734 Sunrise Blvd. Pearland, Texas 77584  
Office (281) 670-1844 • Fax (832) 2018309  
[www.kwcommercial.com](http://www.kwcommercial.com)  
AN INDEPENDENT MEMBER BROKER

# 2932 MANVEL RD



1:2,400

1 inch = 200 feet



This product is for informational purposes only and may not be prepared or be suitable for legal, engineering or surveying purposes.

MAP PREPARED OCTOBER 13 2016  
GIS DEPARTMENT



- Any other information which may be requested by the Planning Department to fully evaluate and review the application and the potential impact of a proposed tower or antenna.

**h. Posting of Notification Signs on Property Under Consideration for a Conditional Use Permit (CUP)**

Any person, firm or corporation requesting a zoning change, a conditional use permit (CUP), or a variance shall be required to erect and maintain a sign(s), to be inspected by the City, upon the property for which a variance or zoning change has been requested.

Such sign(s) shall be located as follows:

1. One (1) sign per street frontage shall be located within thirty (30) feet of the abutting street, or as determined by the City.
2. So as to be clearly visible and readable from the public right-of-way and not obstructed in any manner.
3. So as not to create a hazard to traffic on the public rights-of-way abutting the property.
4. On the subject property at least ten (10) days prior to the hearing of such zoning change request by the Planning and Zoning Commission, and to remain continuously on said property until final action by the City Council or withdrawal of the case by the applicant. Removal of the sign by the applicant prior to a recommendation by the Planning and Zoning Commission and/or a final decision by the City Council shall constitute a withdrawal of the request.
5. The signs shall be as follows:
  - A minimum sign size of two (2) feet by three (3) feet, but no larger than four (4) feet by four (4) feet
  - At least two (2) feet above the ground
  - Blue or black lettering that is a minimum of 3 inches by ½ inch, on a white background
  - Message content as follows:

**PROPOSED CUP**  
**Contact City of Pearland**  
**281.652.1765**

Signs must be professionally made; handwritten signs are not allowed.

Signs must be freestanding and cannot be attached to a tree, fence, or building.

RECEIVED 10-17-16  
*[Handwritten Signature]*

# TAX RECEIPT



RO'VIN GARRETT, PCC  
BRAZORIA COUNTY TAX ASSESSOR - COLLECTOR  
111 E. LOCUST  
ANGLETON, TEXAS 77515

**Certified Owner:**

PEPIN ARNE W & CONSTANCE M  
2933 MANVEL RD  
PEARLAND, TX 77584-7541

**Legal Description:**

LT 4 242 H T & B, ACRES 4.690

**Parcel Address:** 2932 MANVEL RD FM 1128

**Legal Acres:** 4.6900

**Deposit No:** 1629180C  
**Validation No:** 900000047355605  
**Account No:** 0242-0018-000  
**Operator Code:** PEAR1

**Remit Seq No:** 32698714  
**Receipt Date:** 10/14/2016  
**Deposit Date:** 10/17/2016  
**Print Date:** 10/14/2016 10:06 AM  
**Printed By:** PEAR1

| Year | Tax Unit Name            | Rec Type | Tax Value | Tax Rate | Levy Paid         | P&I           | Coll Fee Paid | Total             |
|------|--------------------------|----------|-----------|----------|-------------------|---------------|---------------|-------------------|
| 2016 | Brazoria County          | TL       | 220,048   | 0.397405 | 874.48            | 0.00          | 0.00          | 874.48            |
| 2016 | Special Road & Bridge    | TL       | 220,048   | 0.060000 | 132.03            | 0.00          | 0.00          | 132.03            |
| 2016 | Pearland Isd             | TL       | 220,048   | 1.415600 | 3,115.00          | 0.00          | 0.00          | 3,115.00          |
| 2016 | Brazoria Drainage Dist 4 | TL       | 220,048   | 0.146000 | 321.27            | 0.00          | 0.00          | 321.27            |
| 2016 | City Of Pearland         | TL       | 220,048   | 0.681200 | 1,498.97          | 0.00          | 0.00          | 1,498.97          |
|      |                          |          |           |          | <u>\$5,941.75</u> | <u>\$0.00</u> | <u>\$0.00</u> | <u>\$5,941.75</u> |

> - -

- - <

**Check Number(s):**

**PAYMENT TYPE:**

**Cash:** \$5,941.75

**Exemptions on this property:**

**Total Applied:** \$5,941.75  
**Total Tended:** \$8,956.96  
**(for accounts paid on 10/14/2016)**  
**Change Paid:** \$0.00

**PAYER:**

PEPIN ARNE W & CONSTANCE M  
2933 MANVEL RD  
PEARLAND, TX 77584-7541

**ACCOUNT PAID IN FULL**



[Home](#)

[Map Gallery](#)

[City Map Book](#)

[GIS Data](#)

## 2932 MANVEL RD



### Location

2932 MANVEL RD  
PEARLAND, TX 77584

Key Map® Location: 614 N  
Neighborhood:  
County: Brazoria



### City Limit Information

Within city limits: Yes  
Annexation Number: 923  
Annexation Date: Mon August 30, 1999



### Trash, Recycle, Green Day

Trash Pickup: WEDNESDAY & SATURDAY

Recycle Pickup: Wednesday

Green Day: Wednesday



### Voting Information

Voting Precinct 62



### Boundary Area

Subdivision:  
School District: Pearland ISD  
Drainage District: Brazoria Drainage Dist. 4  
(Pearland)  
Municipal Utility District: n/a  
Plat:



### Landuse

Land use : Retail, Offices and Services  
Zone: GC

## External Map Services



[View Larger Map on Google Maps](#)

[View on Yahoo! Maps](#)

[View on MSN Maps](#)

[View on Mapquest](#)

## Appraisal Districts

[Brazoria County Appraisal District](#)

[Harris County Appraisal District](#)

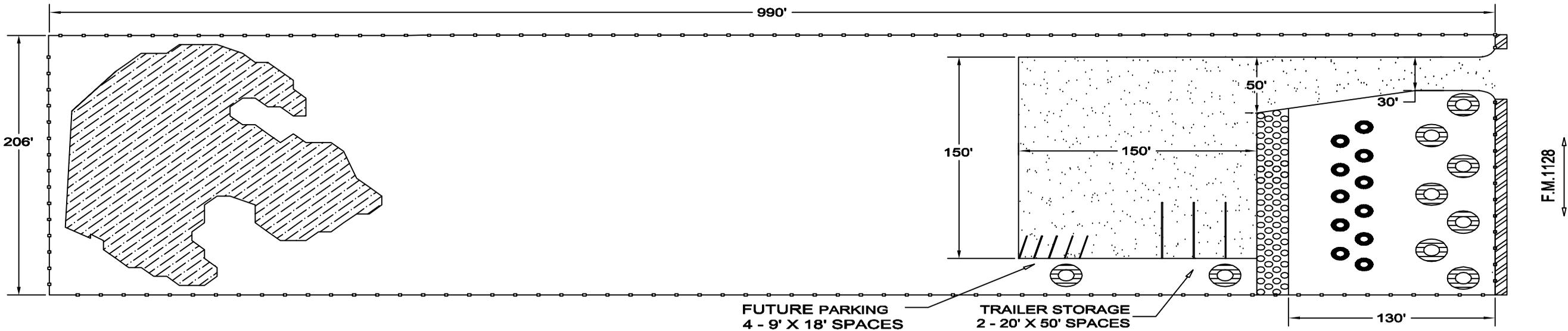
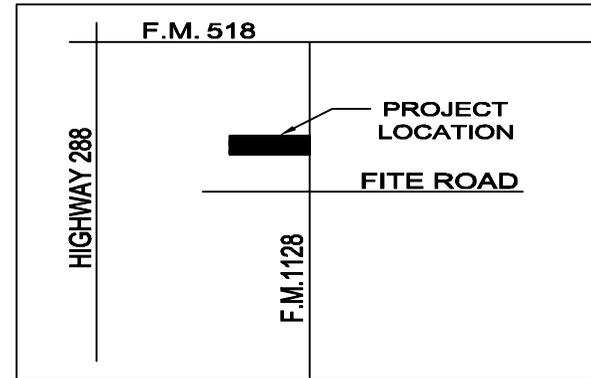
[Fort Bend Appraisal District](#)



# 2932 MANVEL ROAD PEARLAND, TEXAS 77581

TOTAL ACREAGE OF SITE = 990' X 206' (203,940 SF)

- |   |  |
|---|--|
| <ul style="list-style-type: none"> <li> FUTURE ASPHALT DRIVE PER UDC STANDARD</li> <li> DETENTION POND</li> <li> EXISTING FENCE TO REMAIN</li> </ul> | <p style="text-align: center; margin: 0;"><b>LANDSCAPING DETAIL</b></p> <ul style="list-style-type: none"> <li> LANDSCAPE BUFFER PER UDC STANDARD</li> <li> 9 - 3" CAL. LIVE OAK</li> <li> 11 - GULF COAST MUHLY</li> <li> 170 - WAX MYRTLE</li> </ul> |
|---|--|



F.M.1128

**B. CONSIDERATION AND  
POSSIBLE ACTION –  
ZONE CHANGE  
APPLICATION NO. CUP  
16-00010**

A request of Jay Dorsey, applicant, on behalf of Trajan Properties, LLC., owner; for approval of a Conditional Use Permit to allow for a metal, machine, or wood shop and building material sales in the Garden/O'Day-Mixed Use (G/O-MU) zoning district; on approximately 0.63 acres of land.



**JOINT PUBLIC HEARING**  
THE CITY COUNCIL CITY AND THE PLANNING AND ZONING COMMISSION OF  
THE CITY OF PEARLAND, TEXAS,  
**MONDAY, NOVEMBER 21, 2016, AT 6:30 P.M.**  
COUNCIL CHAMBERS - CITY HALL-3519 LIBERTY DRIVE

**I. CALL TO ORDER**

**II. PURPOSE OF HEARING**

**Conditional Use Permit Application No. CUP 16-00010**

A request of Jay Dorsey, applicant, on behalf of Trajan Properties, LLC., owner; for approval of a Conditional Use Permit to allow for a metal, machine, or wood shop and building material sales in the Garden/O'Day-Mixed Use (G/O-MU) zoning district; on approximately 0.63 acres of land.

**Legal Description:** Being a tract of land containing 0.63 acres (27,500 square feet) and being known as Lot 9, Block 3 of Hickory Creek Subdivision as recorded in Volume 11, Page 1 of the Brazoria County Map Records.

**General Location:** 2106 O'Day Road, Pearland, TX.

**III. APPLICATION INFORMATION AND CASE SUMMARY**

- A. STAFF REPORT
- B. APPLICANT PRESENTATION
- C. STAFF WRAP UP

**IV. PERSONS WISHING TO SPEAK FOR OR AGAINST THE PROPOSED REQUEST**

**V. COUNCIL/PLANNING COMMISSION/STAFF DISCUSSION**

**VI. ADJOURNMENT**

**This site is accessible to disabled individuals. For special assistance, please call Young Lorfing, City Secretary, at 281-652-1655 prior to the meeting so that appropriate arrangements can be made.**



## Staff Report

To: City Council and Planning and Zoning Commission

From: Planning Department

Date: November 21, 2016

Re: Conditional Use Permit Application No. CUP 16-00010

A request of Jay Dorsey, applicant, on behalf of Trajan Properties, LLC., owner; for approval of a Conditional Use Permit to allow for a metal, machine, or wood shop and building materials sales in the Garden/O'Day-Mixed Use (G/O-MU) zoning district; on approximately 0.63 acres of land.

General Location: 2106 O'Day Road

### **Summary of Request**

This request is for approval of a Conditional Use Permit (CUP) to allow a metal, machine, or wood shop and building materials sales uses within the Garden/O'Day – Mixed Use (G/O-MU) Zoning District. The applicant is proposing to use the existing 4,000 square foot metal structure on the building to house a machine shop and associated outdoor sales of building materials not open to the general public. This proposal would increase the safety of the facility with an improved fence and increase the general aesthetics with new landscaping. The last use of the facility was for Roy Shugart Glass and Mirror; a company which specialized in custom glass and window repair. The property was previously approved for a CUP for an Auto Repair (major) facility in March of 2014. The improvements which City Council required with the approval of that CUP were never enacted and the use was not established on the lot.

Due to the proposed use, the site would have to provide adequate parking spaces and associated landscaping along the front. This CUP will allow the applicant to keep the existing metal façade and not replace it with masonry.

### **Recommendation**

Staff recommends approval of the requested CUP, with conditions, to allow for metal, machine, or wood shop and a building material sales on the approximately 0.63 acre site for the following reasons:

1. It is not anticipated that the proposed use will have any significant negative impacts on surrounding developed properties, as a result of the requirements of the UDC as well as the conditions recommended by staff.

2. The proposed use meets the criteria of approval for a Conditional Use Permit, will conform to the UDC as well as the Future Land Use Designation of the Comprehensive Plan.
3. The proposed use and improvements to the site will result in an enhanced property that otherwise would remain as is.

Recommended conditions:

1. Add a note on the site plan that no outside storage in the 30' buffer along the western property line, abutting residential.
2. All applicable requirements of the UDC shall be met. Prior to First Reading, a revised site plan is required which illustrates all the conditions.
3. Exempt the requirement for façade.

**Site History**

The site is currently developed with an approximately 4,000 square-foot office/warehouse building. The parking surface is a combination of gravel, asphalt, and concrete. The existing building was constructed in 1993. According to City records, the most recent occupant of the building was Roy Shugart Glass and Mirror; a company which specialized in custom glass and window repair. The glass and window repair company occupied the building from August, 2004 to November, 2012.

Prior to the adoption of the UDC in 2006, the subject property was located within the Commercial (C) zoning district, contained in the Urban Land Use and Development Ordinance. With the adoption of the UDC, the site was rezoned from C to G-O/MU, which allows a number of commercial and some industrial uses by Conditional Use Permit.

In 2014, a CUP was applied for and granted to allow the Auto Repair (Major) use with conditions. These conditions included replacing the existing fence to meet the UDC requirements, not allowing junk vehicles on the property, not allowing outside vehicle repair, replacing the parking surface to meet UDC requirements, changing landscaping and screening to conform to the UDC.

The site is bounded by G/O-MU to the north, south, and east; and Single-Family Residential – 1 (R-1) to the west. The below table identifies surrounding uses and zoning districts:

|              | Zoning                            | Land Use                   |
|--------------|-----------------------------------|----------------------------|
| <b>North</b> | Garden/O'Day – Mixed Use (G/G-MU) | Light Industrial Warehouse |
| <b>South</b> | Garden/O'Day – Mixed Use (G/G-MU) | Survey Office              |
| <b>East</b>  | Garden/O'Day – Mixed Use (G/G-MU) | Single Family Residential  |
| <b>West</b>  | Single-family Residential-1 (R-1) | Single Family Residential  |

### **Conformance with the Comprehensive Plan**

The current zoning is in conformance with the Future Land Use Plan (FLUP). FLUP designates this property as “Garden/O’Day Mixed Use” which is designated to support the G/O-MU zoning district. The G/O-MU zoning district is intended to provide a district that allows for the continuation light industrial land uses that have existed in the district while also respecting the residential uses that have developed and now coexist with the nonresidential uses.

The Comprehensive Plan recommends for industrial and commercial uses to be located away from residential areas or at least provide for a buffer between them. In this case, if all the UDC requirements are met, the proposed use would be in conformance with the comprehensive plan, since the purpose is to foster the mixing of existing uses.

### **Conformance with the Thoroughfare Plan**

The subject property is located along O’Day Road. According to City records, O’Day Road is a Secondary Thoroughfare to be widened. Secondary thoroughfares are defined as having a minimum right-of-way of 100 feet.

### **Conformance with the Unified Development Code**

The property is currently developed. The applicant does not intend to make any changes to the property and will use the existing structure. At this time the existing property is not in conformance with the UDC. The below table and following descriptions illustrate improvements required based on this CUP:

| <b>Trigger</b> | <b>Façade</b> | <b>Sidewalks</b> | <b>Parking</b> | <b>Landscaping</b> | <b>Screening/Fencing</b> |
|----------------|---------------|------------------|----------------|--------------------|--------------------------|
| For this CUP   |               |                  | X              | X **               | X *                      |

\* Residential adjacency buffer to remain

\*\* Parking lot landscaping

- **Façade Requirements:** Currently, this development will require a façade that is 100% masonry or glass. However, the façade requirements are recommended to be exempt from such compliance upon issuance of a conditional use permit.
- **Parking Requirements:** Parking spaces must be provided based on the minimum number required and parking design standards. Currently, no formal parking exists on the site. The parking area is paved but not stripped. The requirements for a metal, machine or wood shop facility is one space per 500 square feet of gross floor area while the portion of the building designated for office use is one space per 300 square feet of gross floor area. The submitted site plan for the proposed use shows 1,000 square feet of office, 500 square feet of work shop, and the remaining designated for accessory storage. Based on the submitted site plan, the proposed use is required to have five (5) parking spaces that can be accommodated in the existing paved area.

- Landscaping requirements: 15% of the total gross lot area is required to be landscaped. The site meets this requirement. This property will require a minimum of four - 2" caliper trees. The site has mature trees that will be eligible for credits towards required landscaping. Shrubs shall be required as parking lot screening.
- Screening requirements: The site is directly adjacent to a single family subdivision to the west and east. Screening/buffer is required between the proposed use and the abutting single family subdivision to the west. The required 30-foot wide buffer exists on site.

The lot requirements of the proposed G/O-MU zoning district are provided in the following table.

| <b>Garden/O'Day – Mixed Use (G/O-MU) Area Regulations</b> |                 |                              |
|---|-----------------|------------------------------|
| <b>Size of Lot</b>  | <b>Required</b> | <b>Proposed</b>              |
| <b>Minimum Lot Size</b>                                   | 6,000 sq. ft.   | Approximately 27,500 sq. ft. |
| <b>Minimum Lot Width</b>                                  | 60 ft.          | Approximately 125 ft.        |
| <b>Minimum Lot Depth</b>                                  | 100 ft.         | Approximately 220 ft.        |

### **Platting Status**

The subject property currently platted as Hickory creek Place, Block 3, Lot 9.

### **Availability of Utilities**

The subject property has access to City water and sanitary sewer infrastructure. A 16-inch water line exists along the west side of O'Day Road. An 8-inch sanitary sewer line runs along the west side of O'Day Road and a 24-inch line along the east side of the road.

### **Impact on Existing and Future Development**

The proposed conditional use permit would not have a negative impact on the surrounding development, and will be an improvement, if the requirements of the UDC are met. Much of the surrounding area is built out with single family homes. Few vacant properties are left to be developed in the immediate area and the intent of the zoning in this district is to foster a mix of light industrial, office, retail, and residential uses.

### **Additional Comments**

The request has been reviewed by the City's Development Review Committee (DRC), and there were no additional comments from other departments at the time of this report.

**Public Notification**

Staff sent public notices, comment forms and a vicinity map to the applicant, the owner of the property and to property owners within 200 feet of the subject property under consideration for the zone change. Additionally, a legal notice of the public hearing was published in the local newspaper, and a notification sign was placed on the property by the applicant.

**Opposition to or Support of Proposed Request**

Staff has not received any returned notices in opposition to or in support of the proposed change in zoning request.

**Exhibits**

1. Aerial Map
2. Zoning Map
3. Future Land Use Map
4. Notification Map
5. Notification List
6. Applicant Packet



# Exhibit 1

## AERIAL MAP

CUP 16-00010

2106 O'Day Road



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

1 inch = 93 feet

OCTOBER 2016  
PLANNING DEPARTMENT



# Exhibit 2

## ZONING MAP

CUP 16-00010

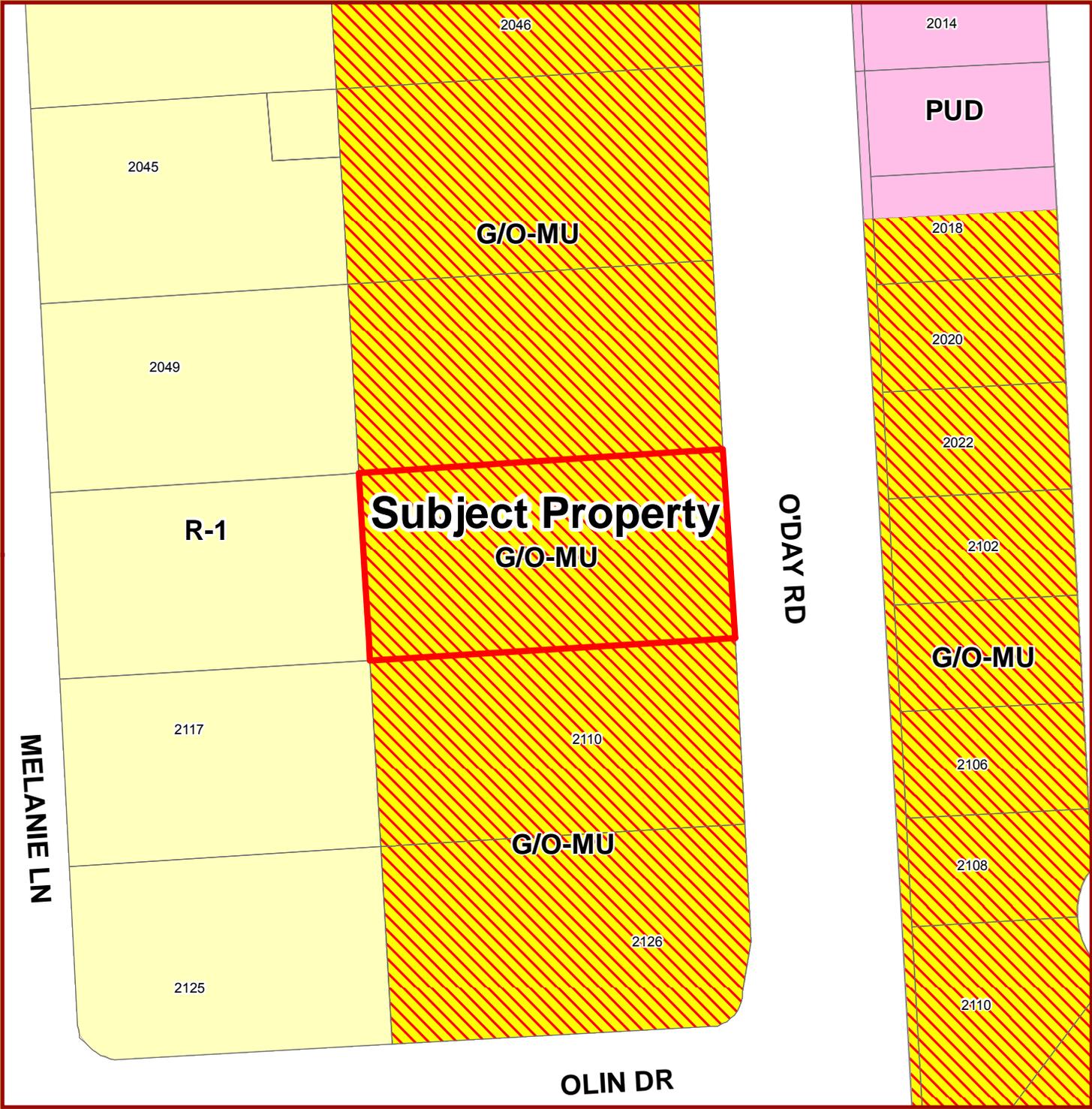
2106 O'Day Road



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1 inch = 93 feet

OCTOBER 2016  
PLANNING DEPARTMENT



# Exhibit 3

**FLUP MAP**

**CUP 16-00010**

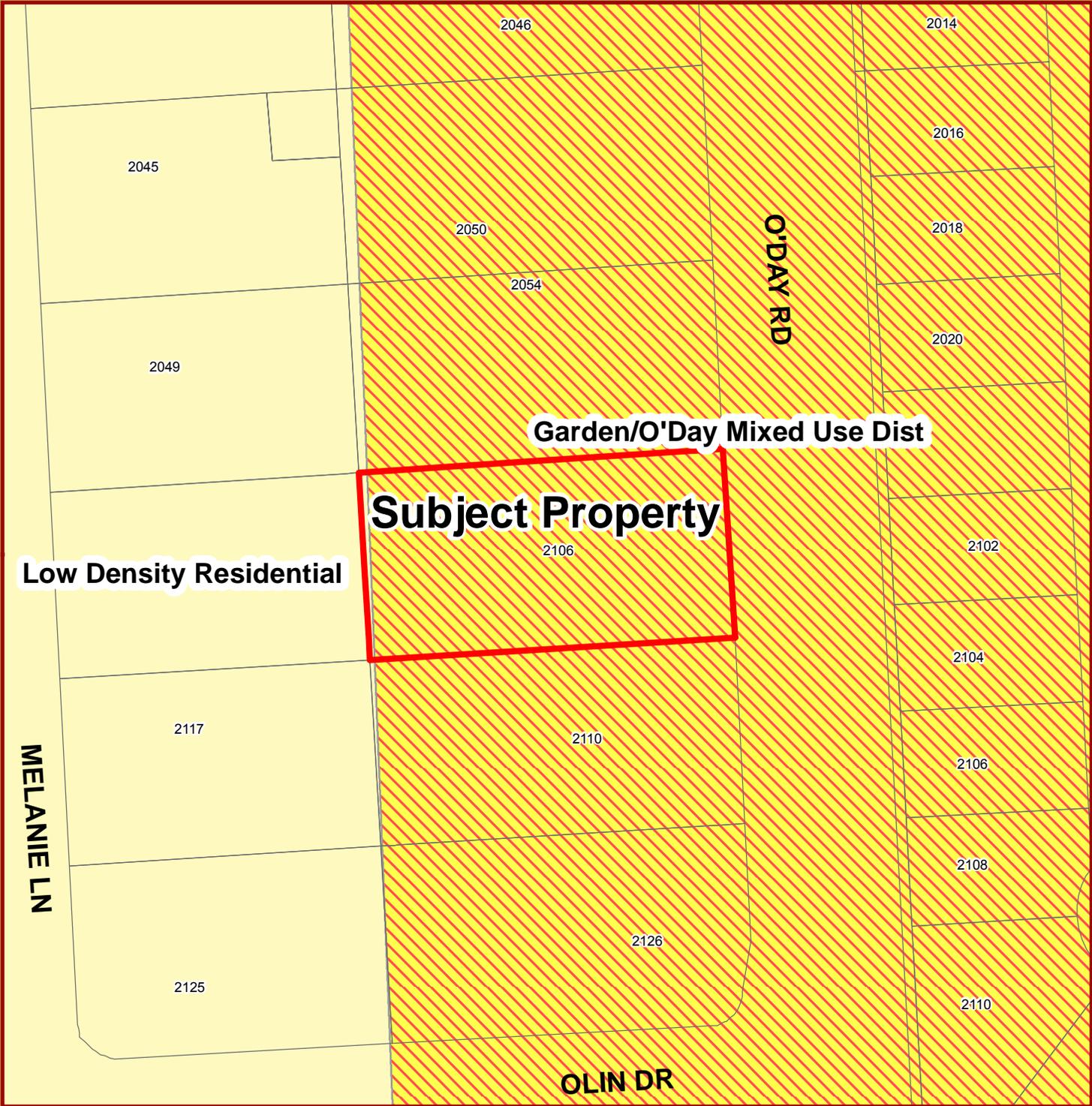
**2106 O'Day Road**



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1 inch = 93 feet

OCTOBER 2016  
PLANNING DEPARTMENT



# Exhibit 4

## NOTIFICATION MAP

CUP 16-00010

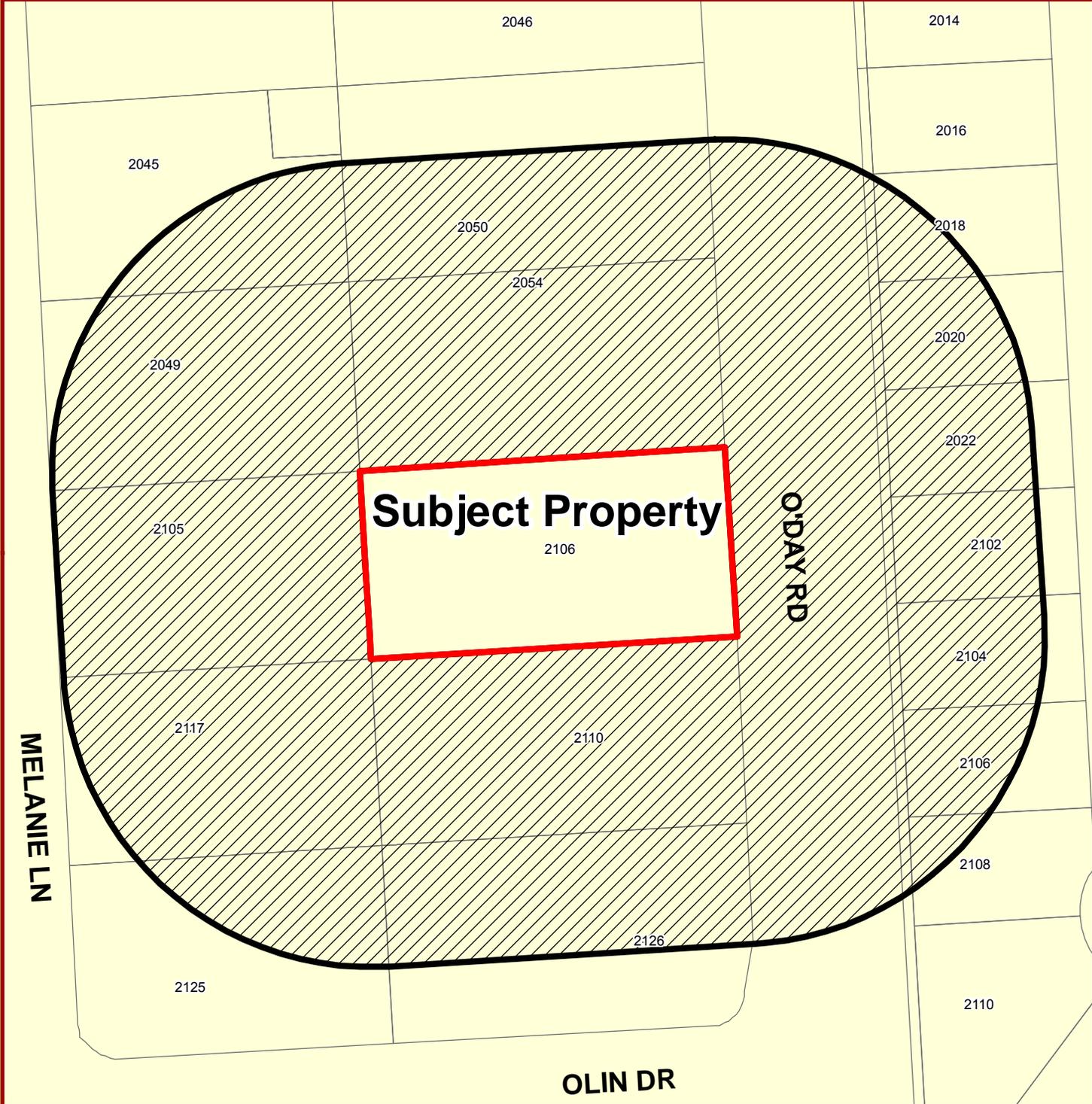
2106 O'Day Road



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1 inch = 93 feet

OCTOBER 2016  
PLANNING DEPARTMENT



**Exhibit 5**

CUP 16-00010

| <b>Property_Owner</b>                    | <b>Address</b>           | <b>City</b>     | <b>State</b> | <b>Zip_Code</b> |
|--|--------------------------|-----------------|--------------|-----------------|
| BARNES RALPH W JR                        | 2049 MELANIE LN          | PEARLAND        | TX           | 77581           |
| BENAVIDES LAMBERTO JR & YANIRA           | 2106 PLUM GROVE LN       | PEARLAND        | TX           | 77581           |
| BRESEE WALTER & GLENDA                   | 2105 MELANIE LN          | PEARLAND        | TX           | 77581           |
| GONZALEZ JOSE ALFREDO & MARISA ALCANTARA | 2046 O'DAY RD            | PEARLAND        | TX           | 77581           |
| HOPKINS MELVIN                           | 2108 PLUM GROVE LN       | PEARLAND        | TX           | 77581           |
| JONES CECIL H JR                         | 2018 PLUM GROVE LN       | PEARLAND        | TX           | 77581           |
| JONES STANLEY                            | 2125 MELANIE LN          | PEARLAND        | TX           | 77581           |
| KURTH JAMES CARMON & JULIA               | 2022 PLUM GROVE LN       | PEARLAND        | TX           | 77581           |
| <b>LEACH JAMES F &amp; PAULA S</b>       | <b>PO BOX 1225</b>       | <b>PEARLAND</b> | <b>TX</b>    | <b>77588</b>    |
| LEGE RODNEY                              | 2102 PLUM GROVE LN       | PEARLAND        | TX           | 77581           |
| MARTINEZ OSCAR J & NELDA                 | 2126 ODAY RD             | PEARLAND        | TX           | 77581           |
| MCCRACKEN MYRNA LEE                      | 2045 MELANIE LN          | PEARLAND        | TX           | 77581           |
| MORTON KEVIN T                           | 405 RANCHO CIR           | FRIENDSWOOD     | TX           | 77546           |
| MORTON MICHAEL D & ELIZABETH C           | PO BOX 410               | PEARLAND        | TX           | 77588           |
| RAMBARAN JESSICA L                       | 2020 GROVE LN            | PEARLAND        | TX           | 77581           |
| RATCLIFF JOHN C                          | 4803 ARROWHEAD LAKE DR   | MISSOURI CITY   | TX           | 77459           |
| <b>TRAJAN PROPERTIES LLC</b>             | <b>2206 O'DAY RD</b>     | <b>PEARLAND</b> | <b>TX</b>    | <b>77581</b>    |
| VILLAGE GROVE HOMEOWNER ASSN INC % ACMI  | 12603 LOUETTA RD STE 101 | CYPRESS         | TX           | 77429           |
| VO KEN VAN & MY-DUC THI HUYNH            | 2104 PLUM GROVE LN       | PEARLAND        | TX           | 77581           |



# APPLICATION FOR A CONDITIONAL USE PERMIT (CUP)

City of Pearland  
Community Development  
3523 Liberty Drive  
(Community Center)  
Pearland, Texas 77581  
281-652-1768  
281-852-1702 fax  
www.cityofpearland.com

**Conditional Use Permit Request for:** Machine Shop and/or Building Material sales  
(list proposed use from the Table of Uses of the UDC)

**Current Zoning District:** G/O-MU

**Property Information:**

Address or General Location of Property: 2106 O'Day Rd. Pearland, TX 77581

Tax Account No. 4860-0025-000

Subdivision: Hickory Creek Place Lot: 9 Block: 3

**A complete application must include all information shown on the  
Application Checklist attached to this application.**

**PROPERTY OWNER INFORMATION:**

NAME Trajan Properties LLC.  
ADDRESS 2206 O'Day Rd.  
CITY Pearland STATE TX ZIP 77581  
PHONE( 281 ) 485-4700  
FAX( 281 ) 485-7722  
E-MAIL ADDRESS j.dorsey@triadrc.com

**APPLICANT/AGENT INFORMATION:**

NAME Triad Construction, Inc. (Jay Dorsey)  
ADDRESS 2206 O'Day Rd.  
CITY Pearland STATE TX ZIP 77581  
PHONE( 281 ) 485-4700  
FAX( 281 ) 485-7722  
E-MAIL ADDRESS j.dorsey@triadrc.com

\*Property owner must be the current owner of the property at the time of submittal of the application, and not the party that has the property under contract.

As owner and applicant, I hereby request approval of the above described request as provided for by the Unified Development Code of the City of Pearland.

Owner's Signature:  Date: 25, October 2016  
Agent's/  
Applicant's Signature:  Date: 25 October 2016

**OFFICE USE ONLY:**

|            |            |              |                 |
|------------|------------|--------------|-----------------|
| FEES PAID: | DATE PAID: | RECEIVED BY: | RECEIPT NUMBER: |
|------------|------------|--------------|-----------------|

Application No.

## APPLICATION CHECKLIST FOR THE FOLLOWING Conditional Use Permits (CUP)

- Application, filled out completely, and signed by the owner of the property to be considered for the conditional use permit.
- If the applicant is the designated agent, the application shall include a written statement from the property owner authorizing the agent to file the application on his behalf. **Section 1.2.1.1 (a) of the Unified Development Code.**
- Metes and Bounds Description, (Survey, or a Plat of the property that contain the metes and bounds description).
- Parcel map, printed from the City of Pearland website, indicating the location and boundaries of the subject property.
- Letter of Intent, explaining the conditional use permit request in detail, specifying proposed uses, specific operations of the use, square footage of buildings, unique characteristics of the property, and any other necessary information
- Application fee of \$250.00, by cash, check made payable to the City of Pearland, or credit card (Visa and MasterCard only)
- Site Plan or Plot Plan showing the proposed layout of the subject property, including any proposed buildings, parking, landscaped areas, detention ponds, fences, and any other relevant information
- Acknowledgement of the sign to be posted on the property 10 days prior to the public hearing
- Provide evidence or proof that all taxes and obligations have been paid regarding the subject property.
- Application packets that are not **complete** will not be accepted. **When a completed application packet has been accepted and reviewed, additional information may be required by staff as a result of the review, it may be necessary to postpone the proposed CUP/Zone Change and remove it from the scheduled agenda and place it on a future agenda date according to Section 1.2.1.2. of the Unified Development Code.**

**Additional Application requirements for Telecommunications Towers, Antennas, and Shared Use on Existing Towers and Alternate Structures to be provided per Section 2.5.5.2 of the current Unified Development Code:**

- An inventory of the applicant's existing towers that are either within the City or within one mile of the corporate limits, specifying the location, height, and design of each tower. The Planning Department may share the information with other applicants for a conditional use permit under this article.
- Site plans to scale specifying the location of tower(s), transmission building and other accessory uses, street access, parking, fences, landscaped areas, and adjacent land uses.
- A report from a professional structural engineer licensed in the State of Texas documenting the following:
  - a. Tower height and design, showing a cross-section of the tower structure.
  - b. Total anticipated capacity of the tower structure, including the number and types of antennas which can be accommodated.
- A letter of intent to lease excess space on the tower and to lease additional excess land on the tower site when the shared use potential of the tower is absorbed, if structurally and technically possible.
- Each applicant must make a good faith effort to substantially demonstrate that no existing towers could accommodate the applicant's proposed antenna by doing the following:
  - a. The applicant must contact the owners of all existing towers of a height roughly equal to or greater than the height of the tower proposed by the applicant. A list must be provided of all owners contacted, the date of the contact, and the form and content of the contact. Where an existing tower is known to have capacity for additional antennas of the sort proposed, that application for a new tower is not complete until the owner of the existing tower responds, unless the applicant submits sufficient information for the Planning Department to determine that all reasonable efforts to obtain a response have been made and further efforts would be futile.
  - b. The applicant must request the following information from each tower owner contacted:
- Identification of the site by location, existing uses, and tower height.
- Whether each tower could structurally accommodate the antenna proposed by the applicant without requiring structural changes be made to the tower. To enable the owner to respond, the applicant must provide each owner with the height, length, weight, and other relevant data about the proposed antenna.

- Whether each tower could structurally accommodate the proposed antenna if structural changes were made, not including totally rebuilding the tower. If so, the owner must specify in general terms what structural changes would be required.
- If structurally able, would shared use by the existing tower be precluded for reasons related to RF interference. If so, the owner must describe in general terms what changes in either the existing or proposed antenna would be required to accommodate the proposed tower, if at all.
- Any other information which may be requested by the Planning Department to fully evaluate and review the application and the potential impact of a proposed tower or antenna.



2206 O'Day Road | Pearland Texas, 77581 | Office: 281.485.4700 | Fax:  
281.485.7722

18 October 2016

ATTN: Community Development

3519 Liberty Dr.

Pearland, TX. 77581

**RE: Conditional Use Permit Request: 2106 O'Day Rd. Pearland, Tx 77581**

To whom it may concern:

The Purpose of this letter is to provide the required information for a Conditional Use Permit Application.

- The intended use of this property is a machine shop &/or Building Material Sales.
- The operations that will be performed on this property will be storage of materials and fabrication of construction items such as steel, sheet metal, and wood which is allowed under Zoning regulations section 2.4.3.3(j).
- Square footage of property: 27,500 sq. ft.
- Square footage of building: 4000 sq. ft.
- Unique characteristics: Not Applicable.

Triad acknowledges Section 1.2.2.4 that states that a sign to be posted on the property 10 days prior to the public hearing.

Sincerely,

J. Guadalupe Miranda

METES and BOUNDS

2106 O'DAY ROAD

BEING a tract of land containing 0.63 acres (27,500 sq. feet) and being known as Lot 9, Block 3

Of Hickory Creek Place Subdivision as recorded in Volume 11, Page 1 of the Brazoria County Map Records, and being more particularly described by metes and bounds as follows;

BEGINNING at a 5/8" iron rod found in the West Right-of-Way line of O'Day Road and marking the common corner of Lots 8 and 9 of said Hickory Place Subdivision;

THENCE West along the common line of said Lots 8 and 9, a distance of 220.00 feet to a 1/2" iron for the Southwest corner of said Lot 9;

THENCE North along the West line of Lot 9 a distance of 125.00 feet to a 1/2" iron rod found for the Northwest corner of said Lot 9;

THENCE East, along the common line of Lots 9 and 10 of said Hickory Creek Place Subdivision a distance of 220.00 feet to a 5/8" iron rod in the West line of O'Day Road marking the common corner of Lots 9 and 10;

THENCE South along the West line of O'Day road a distance of 125.00 feet to the POINT OF BEGINNING and thus containing 27,500 square feet of land more or less.



A handwritten signature in black ink, appearing to read "M. Morton", located below the professional seal.

# SURVEY

This property is located in the 100 year flood plain & is in insurance rate map zone AC; as per map 110495, 00301, dated 09-22-92

SCALE: 1" = 80'

- LEGEND**
- R.O.W. - RIGHT OF WAY
  - I.R. - IRON ROD
  - FND. - FOUND
  - o- - CHAIN LINK FENCE
  - B.L. - BUILDING LINE
  - R.O.W. - RIGHT-OF-WAY
  - PP - POWER POLE
  - U.E. - UTILITY EASEMENT
  - A.E. - AERIAL EASEMENT
  - B.C.D.R. - BRAZORIA COUNTY DEED RECORDS

**NOTES**

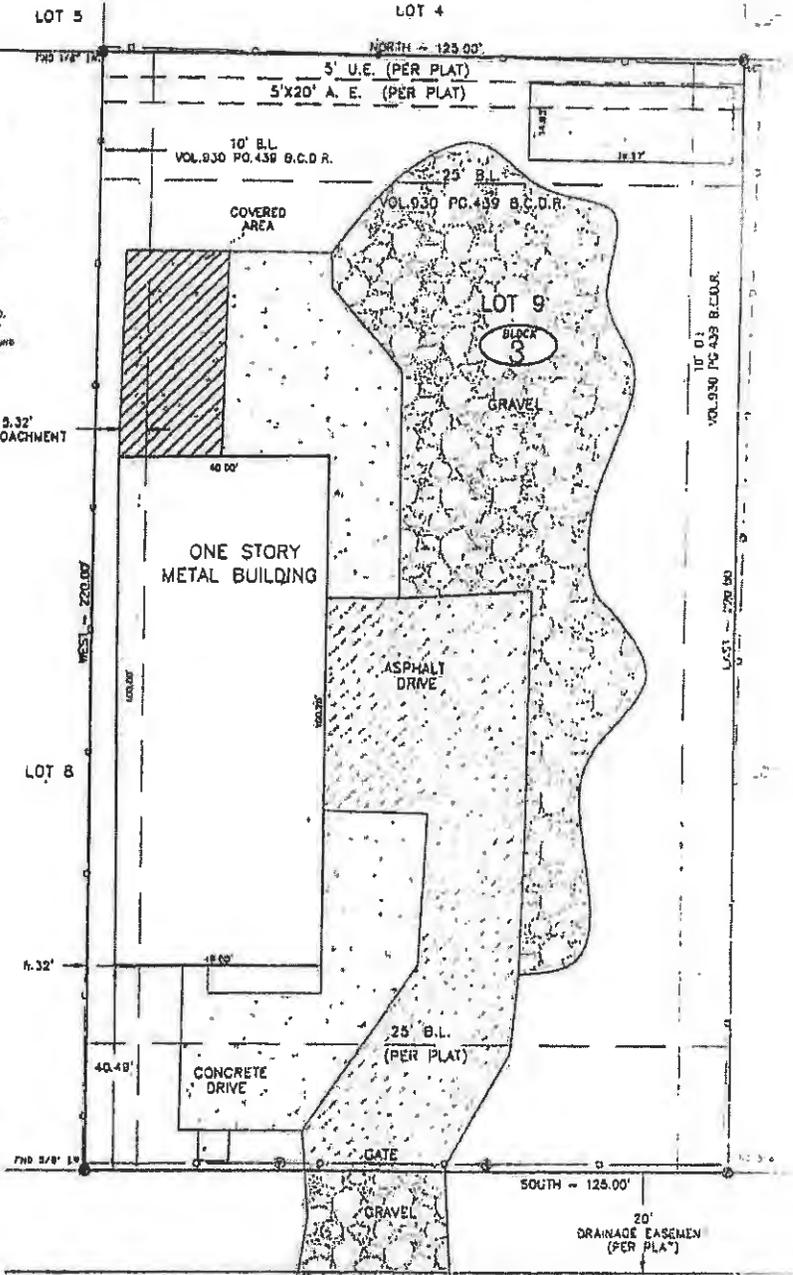
- 1. BASIS FOR RECORDS: ASSESSED AS PLATTED.
- 2. DISTANCES SHOWN ARE RADIAL DISTANCES.
- 3. ALL DISTANCE DONE BY TITLE COMPANY.
- 4. SURVEY BASED ON BEST OF EVIDENCE FOUND.



I, MICHAEL D. MORTON, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PLAT HEREON CORRECTLY REPRESENTS THE RESULTS OF AN ACTUAL SURVEY MADE ON THE GROUND UNDER MY DIRECTION AND THAT THERE ARE NO ENCROACHMENTS EXCEPT AS SHOWN.

DATED THIS THE 14 DAY OF May 2013

MICHAEL D. MORTON - R.P.L.S. NO. 3686



**O'DAY ROAD (a.k.a. - Co. Rd. 558)**  
6' R.O.V.

THIS CERTIFICATION IS REVOKED AND THIS SURVEY IS NULL AND VOID IF THIS DOCUMENT IS ALTERED IN ANY MANNER, USED OR RELIED UPON BY ANY ONE OTHER THAN THE PARTIES ADDRESSED BELOW, OR DOES NOT BEAR AN ORIGINAL SIGNATURE AND SEAL OF THE R.P.L.S. Michael D. Morton, NO. 3686.

|   |                             |       |          |             |                     |       |
|---|-----------------------------|-------|----------|-------------|---------------------|-------|
| OWNER   | TRUST                       | PLAT  | SECTION  | TOWNSHIP    | COUNTY              | STATE |
| 1   | 2                           | 3     | 4        | 5           | 6                   | 7     |
| VOLUME 11, PAGE 1 & 2   |                             |       |          |             |                     |       |
| ADDRESS   | CITY                        | STATE | ZIP CODE | LENDER      | TITLE COMPANY       |       |
| 2106 O'DAY ROAD   | PEARLAND                    | TX    | 77581    | WELLS FARGO | HOMETOWN BANK, N.S. |       |
| PURCHASER   | TITLE RESOURCES GUARANTY CO |       |          | DATE        |                     |       |
| PREPARED BY: JAMES F. LEACH<br>DRAWN BY: JFL<br>CHECKED BY: JFL                                   |                             |       |          |             |                     |       |
| <b>ARROW SURVEYING</b><br>P.O. BOX 219 PEARLAND, TEXAS 77580<br>(409) 482-1884 FAX (409) 412-2119 |                             |       |          |             |                     |       |





- Site plan showing the following:
  - Proposed layout of the subject property See Attachment
  - Proposed buildings See Attachment
  - Parking See Attachment
  - Landscape plan See Attachment
  - Detention ponds N/A
  - Fence See Attachment
  - Other relevant information (list here) N/A
- Acknowledgement of the sign to be posted on the property ten (10) days prior to the public hearing.
- Provide evidence or proof that all taxes and obligations have been paid regarding the subject property.
- Application fee, as determined below, by cash, check made payable to the City of Pearland, or credit card (Visa and MasterCard only). Please refer to the City's webpage [www.pearlandtx.gov](http://www.pearlandtx.gov) for updated fees.

**Additional Application Requirements for Telecommunications Towers, Antennas, and Shared Use on Existing Towers and Alternate Structures per Section 2.5.5.2 of the Unified Development Code**

- An inventory of the applicant's existing towers that are either within the City or within one mile of the corporate limits specifying:
  - Location
  - Height
  - Design

Note: This information may be shared by the Planning Department with other applicants.

- Site plan to scale specifying:
  - Location of tower(s)
  - Transmission building and other accessory uses
  - Street access
  - Parking
  - Fences
  - Landscaped areas
  - Adjacent land uses

FEE \$69.28

**TAX CERTIFICATE**  
**PROFESSIONAL RE TAX SERVICE**  
 10720 W. SAM HOUSTON PKWY. N.~ STE. 200  
 HOUSTON~TX 77064  
 281-340-7846 FAX 281-340-7847

CUST: PROFESSIONAL RE TAX SERVICE      BRANCH: 18  
 ORDER: 49181603441      CLOSER: KC      ORDER TYPE: A      SUBTYPE: R      DATE: 10/14/2016

**CAD ACCOUNT NUMBER SUMMARY**

4860-0025-000

**SUMMARY OF ALL ACCOUNT(S)**

|                          | SUMMARY OF CURRENT YEAR |                 | SUMMARY OF ALL TAXES DUE |             |
|--------------------------|-------------------------|-----------------|--------------------------|-------------|
|                          | TAX YEAR                | BASE TAX        | DUE 10/16                | DUE 11/16   |
| BRAZORIA CO/PAY TO: ROVI | 2015                    | 326.01          | 0.00                     | 0.00        |
| CITY OF PEARLAND         | 2015                    | 473.12          | 0.00                     | 0.00        |
| ISD - PEARLAND           | 2015                    | 949.58          | 0.00                     | 0.00        |
| BC DRAINAGE DIST #4      | 2015                    | 104.31          | 0.00                     | 0.00        |
| <b>TOTAL TAX</b>         |                         | <b>1,853.02</b> | <b>0.00</b>              | <b>0.00</b> |

\*\*\*\*\* COMMENTS \*\*\*\*\* CAUTION \*\*\*\*\* READ BEFORE CLOSING \*\*\*\*\*

BRAZORIA CO/PAY TO: ROVIN - RATE INCLUDES COUNTY(.426) ROAD/BRIDGE(.0600)  
 EXEMPTS: HS-20%; O65-100,000; DIS-100,000  
 CITY OF PEARLAND - EXEMPTS: HS-2.5%/5,000;O65-40,000;DIS-40,000  
 ISD - PEARLAND - EXEMPTS: HS-25,000; OVER65-13,800; DIS-10,000  
 BC DRAINAGE DIST #4 - EXEMPTS: HS-20%; O65-75,000; DIS-75,000BONDS APP  
 ROVED:0; BONDS ISSUED: 0BOND INFORMATION UPDATED  
 12-1-10

|                   |  |             |                      |
|-------------------|--|-------------|----------------------|
| CAD#              | 4860-0025-000  |             | CPL DR4 GBC SPL      |
| DESC              | HICKORY CREEK PLACE (PEARLAND), BLOCK 3, LOT 9 ABST/SUB ID S4860 |             | STT/SNG              |
| SITUS             | 2106 ODAY RD CPL   | DEED        | 2013-031219          |
| MAIL              | PO BOX 1225 PEARLAND TX 77588-1225                               |             |                      |
| ASSESSED OWNER(S) | LEACH JAMES F & PAULA S  |             | 2016 ASSESSED VALUES |
|                   |  | LAND        | 55,280               |
|                   |  | IMPROVEMENT | 11,800               |
| CLASS CODE        | F1 - COMMERCIAL REAL PROPERTY                                    | TOTAL VALUE | 67,080               |

**TAX ENTITY INFORMATION**

|   |                       |                   |                 |                  |                       |
|---|-----------------------|-------------------|-----------------|------------------|-----------------------|
| <b>BRAZORIA CO/PAY TO: ROVIN GARRETT, RTA</b>   | <b>PAYMENTS AS OF</b> | <b>09/30/2016</b> |                 |                  |                       |
| 111 E. LOCUST SUITE 100 ANGLETON, TX 77515-4682 | 15 TAX RATE           | 0.4860000         |                 |                  |                       |
| PHONE 281-756-1320                              | W/O EXEMPT            | 326.01            |                 |                  |                       |
| EXEMPTIONS NONE                                 |                       |                   |                 |                  |                       |
|   | <b>YR</b>             | <b>BASE TAX</b>   | <b>BASE DUE</b> | <b>DUE 10/16</b> | <b>DUE 11/16</b>      |
|   | 15                    | 326.01            | 0.00            |                  | *** PAID 01/29/16 *** |
|   | <b>SUBTOTAL</b>       | <b>326.01</b>     | <b>0.00</b>     | <b>0.00</b>      | <b>0.00</b>           |

**TAX CERTIFICATE**  
**PROFESSIONAL RE TAX SERVICE**  
 10720 W. SAM HOUSTON PKWY. N.~ STE. 200  
 HOUSTON~TX 77064  
 281-340-7846 FAX 281-340-7847

|  |                   |                      |                   |                         |
|--|-------------------|----------------------|-------------------|-------------------------|
| <b>CUST: PROFESSIONAL RE TAX SERVICE</b> | <b>BRANCH: 18</b> |                      |                   |                         |
| <b>ORDER: 49181603441</b>                | <b>CLOSER: KC</b> | <b>ORDER TYPE: A</b> | <b>SUBTYPE: R</b> | <b>DATE: 10/14/2016</b> |

|                         |                       |                   |
|-------------------------|-----------------------|-------------------|
| <b>CITY OF PEARLAND</b> | <b>PAYMENTS AS OF</b> | <b>09/30/2016</b> |
|-------------------------|-----------------------|-------------------|

|                     |             |           |
|---------------------|-------------|-----------|
| COLLECTED BY COUNTY | 15 TAX RATE | 0.7053000 |
| PHONE 281-756-1320  | W/O EXEMPT  | 473.12    |

|                 | YR | BASE TAX | BASE DUE | DUE 10/16 | DUE 11/16             |
|-----------------|----|----------|----------|-----------|-----------------------|
| EXEMPTIONS NONE | 15 | 473.12   | 0.00     |           | *** PAID 01/29/16 *** |
| SUBTOTAL        |    | 473.12   | 0.00     | 0.00      | 0.00                  |

|                       |                       |                   |
|-----------------------|-----------------------|-------------------|
| <b>ISD - PEARLAND</b> | <b>PAYMENTS AS OF</b> | <b>09/30/2016</b> |
|-----------------------|-----------------------|-------------------|

|                     |             |           |
|---------------------|-------------|-----------|
| COLLECTED BY COUNTY | 15 TAX RATE | 1.4156000 |
| PHONE 281-756-1320  | W/O EXEMPT  | 949.58    |

|                 | YR | BASE TAX | BASE DUE | DUE 10/16 | DUE 11/16             |
|-----------------|----|----------|----------|-----------|-----------------------|
| EXEMPTIONS NONE | 15 | 949.58   | 0.00     |           | *** PAID 01/29/16 *** |
| SUBTOTAL        |    | 949.58   | 0.00     | 0.00      | 0.00                  |

|                            |                       |                   |
|----------------------------|-----------------------|-------------------|
| <b>BC DRAINAGE DIST #4</b> | <b>PAYMENTS AS OF</b> | <b>09/30/2016</b> |
|----------------------------|-----------------------|-------------------|

|                     |             |           |
|---------------------|-------------|-----------|
| COLLECTED BY COUNTY | 15 TAX RATE | 0.1555000 |
| PHONE 281-756-1320  | W/O EXEMPT  | 104.31    |

|                 | YR | BASE TAX | BASE DUE | DUE 10/16 | DUE 11/16             |
|-----------------|----|----------|----------|-----------|-----------------------|
| EXEMPTIONS NONE | 15 | 104.31   | 0.00     |           | *** PAID 01/29/16 *** |
| SUBTOTAL        |    | 104.31   | 0.00     | 0.00      | 0.00                  |

**CONDITIONS, DISCLAIMERS AND EXCLUSIONS**

This Tax Certificate/Tax Order Report does not constitute a report on or certification of: (1) mineral (productive and/or non-productive) taxes or leases; (2) personal property taxes; or (3) other non ad valorem taxes (such as paving liens, stand-by charges or maintenance assessments).

Data Trace Information Services LLC ("Data Trace") may have warranted the accuracy of this Tax Certificate/Tax Order Report to its customer (the "Data Trace Customer") pursuant to the terms and conditions of a written tax service agreement between Data Trace and said Data Trace Customer (the "Tax Service Agreement"). Any such warranty (hereinafter, "Data Trace Customer Warranty") does not: (a) extend to a third party bearer of this Tax Certificate/Tax Order Report; (b) cover any changes made to the records of the taxing authority after the "payments as of," "paid," or "payment" dates delineated above; and (c) cover any invalid tax information shown on the records of the taxing authority or resulting from an error by the Data Trace Customer (including, without limitation, submission of incorrect property information by said Data Trace Customer). DATA TRACE MAKES NO WARRANTIES (EXPRESS OR IMPLIED) WITH RESPECT TO THIS TAX CERTIFICATE/TAX ORDER REPORT OTHER THAN (WHERE APPLICABLE) THE DATA TRACE CUSTOMER WARRANTY. Any and all claims under a Data Trace Customer Warranty must be submitted to Data Trace by the corresponding Data Trace Customer and are subject to the terms and conditions set forth in the pertinent Tax Service Agreement (including, without limitation, the filing deadlines applicable to such claims). In some jurisdictions Data Trace's validation of a Tax Certificate/Tax Order Report is required to activate a Data Trace Customer Warranty.

**PRINTED BY STT/BEC**

**HOA CERTIFICATE**  
**PROFESSIONAL RE TAX SERVICE**  
 10720 W. SAM HOUSTON PKWY. N.~ STE. 200  
 HOUSTON~TX 77064  
 281-340-7846 FAX 281-340-7847

|  |                   |                      |                   |                         |
|--|-------------------|----------------------|-------------------|-------------------------|
| <b>CUST: PROFESSIONAL RE TAX SERVICE</b> | <b>BRANCH: 18</b> |                      |                   |                         |
| <b>ORDER: 49181603441</b>                | <b>CLOSER: KC</b> | <b>ORDER TYPE: A</b> | <b>SUBTYPE: R</b> | <b>DATE: 10/14/2016</b> |

SELLER LEACH JAMES F &amp; PAULA S

BUYER TRAJAN PROPERTIES LLC

COUNTY BRAZORIA

SUBD NAME / BLK HICKORY CREEK PLACE

NO HOA FOUND FOR HICKORY CREEK PLACE

HOME PHONE (409) 485-1542

CONTACT JEAN BONDS,TREAS.

\*\*\* OUR RESEARCH DOES NOT INDICATE THE EXISTENCE OF AN \*\*\*

\*\*\* HOA. PLEASE VERIFY WITH YOUR TITLE REPORT. IF AN \*\*\*

\*\*\* HOA IS KNOWN, PLEASE CONTACT YOUR TAX SERVICE \*\*\*

SUMMARY OF ACCOUNT 4860-0025-000

DESC HICKORY CREEK PLACE (PEARLAND), BLOCK 3, LOT 9 ABST/SUB ID S4860

SITUS 2106 ODAY RD CPL

**CONDITIONS, DISCLAIMERS AND EXCLUSIONS**

This HOA Certificate does not constitute a report on or certification of: (1) mineral (productive and/or non-productive) taxes or leases; (2) personal property taxes; or (3) other non ad valorem taxes (such as paving liens, stand-by charges or maintenance assessments).

Data Trace Information Services LLC ("Data Trace") may have warranted the accuracy of this HOA Certificate to its customer (the "Data Trace Customer") pursuant to the terms and conditions of a written tax service agreement between Data Trace and said Data Trace Customer (the "Tax Service Agreement"). Any such warranty (hereinafter, "Data Trace Customer Warranty") does not: (a) extend to a third party bearer of this HOA Certificate; (b) cover any changes made to the records of the association or other assessment authority after the "payments as of," "paid," or "payment" dates delineated above; and (c) cover any invalid assessment information shown on the records of the association or other assessment authority or resulting from an error by the Data Trace Customer (including, without limitation, submission of incorrect property information by said Data Trace Customer). DATA TRACE MAKES NO WARRANTIES (EXPRESS OR IMPLIED) WITH RESPECT TO THIS HOA CERTIFICATE OTHER THAN (WHERE APPLICABLE) THE DATA TRACE CUSTOMER WARRANTY. Any and all claims under a Data Trace Customer Warranty must be submitted to Data Trace by the corresponding Data Trace Customer and are subject to the terms and conditions set forth in the pertinent Tax Service Agreement (including, without limitation, the filing deadlines applicable to such claims). In some jurisdictions Data Trace's validation of a HOA Certificate is required to activate a Data Trace Customer Warranty.

LOT 5

LOT 4

LOT 3

WOOD FENCE

NORTH 125.00'

FND 1/2" I.R.

FND 1/2" I.R.

5' U.E. (PER PLAT)

5'x20 A.E. (PER PLAT)

25' B.L (VOL. 930, PG. 439 B.C.D.R.)

30' EXISTING LANDSCAPE BUFFER TO REMAIN AS IS (NO PARKING)

WOOD FENCE

LOT 9

BLOCK 3

COVERED AREA

GRAVEL

10' B.L (VOL. 930, PG. 439 B.C.D.R.)

LOT 8

WEST 220.00'

LOT 10 EAST 220.00'

2,500 SF STORAGE

ONE STORY METAL BUILDING F.F.=51.95

ASPHALT DRIVE

WOOD FENCE

500 SF FAB

PARKING 5

1,000 SF OFFICE

PARKING 4

5'-3 3/4" ENCR OACHMENT

PARKING 1

PARKING 2

PARKING 3

6' WIDE LANDSCAPE STRIP

6' WIDE LANDSCAPE STRIP

FND 5/8" I.R.

FND 5/8" I.R.

DECORATIVE FENCING

DECORATIVE FENCING

FLOWLINE DITCH

20' DRAINAGE EASEMENT (PER PLAT)

NEW CONCRETE APPROACH

O'DAY ROAD (a.k.a. - Co. Rd. 558) (60' R.O.W.)

TBM: R.R. SPIKE IN POWER POLE ELEV=52.13 P.P.

EDGE OF ASPHALT

NOTES: 1. B2 2. A1 3. S1 FLOOR ACCOI INSUR DATE PROP BENCH BRASS CITY LOCAT INTERI BLVD. ELEV. NOTE: BASEL COAST

LOT 9, A SUB

**C. CONSIDERATION AND  
POSSIBLE ACTION –  
ZONE CHANGE  
APPLICATION NO. CUP  
16-00011**

A request of Richard Stockton, applicant, on behalf of Greenspace Holdings, LLC., owner; for approval of a Conditional Use Permit to allow for a mini-warehouse/self-storage in the General Business (GB) zoning district; on approximately 2.101 acres of land.



**JOINT PUBLIC HEARING**  
THE CITY COUNCIL CITY AND THE PLANNING AND ZONING COMMISSION OF  
THE CITY OF PEARLAND, TEXAS,  
**MONDAY, NOVEMBER 21, 2016, AT 6:30 P.M.**  
COUNCIL CHAMBERS - CITY HALL-3519 LIBERTY DRIVE

**I. CALL TO ORDER**

**II. PURPOSE OF HEARING**

**Conditional Use Permit Application No. CUP 16-00011**

A request of Richard Stockton, applicant, on behalf of Greenspace Holdings, LLC., owner; for approval of a Conditional Use Permit to allow for a mini-warehouse/self-storage in the General Business (GB) zoning district; on approximately 2.101 acres of land.

**Legal Description:** All of that Lot "A" and Lot "B", Block 1 in the Whispering Winds Subdivision, Section 2, an addition in the Thomas J. Green Survey, Abstract No. 198 as recorded in Volume 19, Pages 163-164 in the Plat Records of Brazoria County, Texas.

**General Location:** Approximately 323 feet northeast of the intersection of Westminister Road and Broadway Street.

**III. APPLICATION INFORMATION AND CASE SUMMARY**

- A. STAFF REPORT
- B. APPLICANT PRESENTATION
- C. STAFF WRAP UP

**IV. PERSONS WISHING TO SPEAK FOR OR AGAINST THE PROPOSED REQUEST**

**V. COUNCIL/PLANNING COMMISSION/STAFF DISCUSSION**

**VI. ADJOURNMENT**

**This site is accessible to disabled individuals. For special assistance, please call Young Lorfing, City Secretary, at 281-652-1655 prior to the meeting so that appropriate arrangements can be made.**



## Staff Report

To: City Council and Planning and Zoning Commission

From: Planning Department

Date: November 21, 2016

Re: Conditional Use Permit Application No. CUP 16-00011

A request of Richard Stockton, applicant, on behalf of GreenSpace Holdings LLC, owner; for approval of a Conditional Use Permit to allow for mini-warehouse/self-storage in the General Business (GB) zoning district; on approximately 2.101 acres of land.

General Location: Westminster Road, north of Broadway Street

### **Summary of Request**

This request is for approval of a Conditional Use Permit (CUP) to allow for development of a self-storage facility. The applicant is proposing a 136,632 gross square feet (102,896 net rentable square feet), 3-story self-storage facility with 985 units. Each of the storage units will be constructed of repurposed shipping containers. The outside appearance will look like a normal masonry building.

The subject property is an undeveloped parcel surrounded by a variety of commercial uses fronting on Broadway and Westminster Streets and transitioning to residential uses to the north. The proposed use is classified as mini-warehouse/self-storage, and this use is only permitted within business, commercial, or industrial districts with the approval of a CUP. The proposed use is not allowed within any zoning district by right.

### **Recommendation**

Staff recommends approval of the CUP for mini-warehouse/self-storage on the approximately 2.101 acre site for the following reasons, with the conditions listed below. However, the current site plan is too dense and does not provide appropriate buffer for surrounding areas. Staff is not in support of the current site plan and recommends that the site plan be revised prior to the first reading of the ordinance:

1. The proposed CUP is compatible with the established residential and non-residential uses of the area. Self-storage facilities are often able to successfully utilize remainder tracts that are deemed less desirable by other retail, office or service uses, and act as a transitional buffer between the commercial and residential uses.

2. The applicant is not seeking any variances to the design requirements specified in the UDC, and proposes a 25-foot green space between the proposed building and the adjacent multi-family residential use. Site features such as a masonry wall and landscaping will further screen the proposed use from the apartments.
3. In 2006, the subject property was granted a CUP for self-storage, but that CUP is now expired. Conditions in the area have not changed significantly since the previous CUP was approved, and the proposed use is still deemed appropriate.

If the use is acceptable then staff recommends that a revised site plan addressing the following comments be submitted prior to the first reading of the ordinance.

1. Provide a 15-foot front wide landscaped strip along Westminster Street with enhanced landscaping (additional shrubs and ornamental trees). Provide a combination of trees and shrubs along the east and west property lines in a 6-foot wide landscaping strip. Provide a combination of trees and shrubs along the northern property line with a minimum 15-foot wide landscaped strip for a more effective buffer.
2. Resolve all conflicts between utility easements, drainage easements, and proposed landscaping and show these easements on the site plan.

### **Site History**

The subject property is currently undeveloped and zoned GB District. The property is surrounded by a variety of uses including retail, office, and services businesses towards Broadway Street and residential uses towards the north along Westminster Road.

The site is bounded by MF (Multiple-Family Residential) District to the north, and GB (General Business) District to the east, south, and across Westminster Road to the west. The following table identifies surrounding uses and zoning districts.

|              | <b>Zoning</b>  | <b>Land Use</b>                                     |
|--------------|--|---|
| <b>North</b> | Multiple-Family Residential District (MF)<br>General Business (GB) | Whispering Winds Apartments                         |
| <b>South</b> | General Business (GB)  | Restaurant and Office                               |
| <b>East</b>  | Multiple-Family Residential District (MF)<br>General Business (GB) | Whispering Winds Apartments<br>and Office Warehouse |
| <b>West</b>  | General Business (GB)  | Retail and Office Space                             |

### **Conformance with the Comprehensive Plan**

The Future Land Use Plan proposes retail, office, and service uses for this site. The 2015 Pearland Comprehensive Plan states that neighborhood retail and service uses should be located at intersections of thoroughfares or collector streets or at the edge of logical neighborhood areas unless appropriately placed within a planned development. The proposed self-storage facility is consistent with the proposed land use pattern for this area. The use is a relatively low-impact commercial use with respect to traffic, noise, and other potential nuisances, which makes it compatible with the existing

multifamily residential uses to the north as well as the established businesses surrounding the site.

### **Conformance with the Thoroughfare Plan**

The subject property is located along Westminister Road. According to City records, Westminister Road is a Minor Collector Street of sufficient width. Minor Collectors are defined as having a minimum right-of-way of 60 feet.

### **Conformance with the Unified Development Code**

The property is currently undeveloped. Most of the development meets the requirements of the UDC except for the landscaping as proposed on the site plan.

The lot requirements of the proposed GB District are provided in the following table.

| <b>General Business (GB) Area Regulations</b> |                 |                              |
|---|-----------------|------------------------------|
| <b>Size of Lot</b>                            | <b>Required</b> | <b>Proposed</b>              |
| <b>Minimum Lot Size</b>                       | 22,500 sq. ft.  | Approximately 91,527 sq. ft. |
| <b>Minimum Lot Width</b>                      | 150 ft.         | Approximately 300 ft.        |
| <b>Minimum Lot Depth</b>                      | 125 ft.         | Approximately 304 ft.        |

### **Platting Status**

The subject property is currently platted as Whispering Winds Section 2 Amending Plat. This plat was recently approved and recorded combining two lots into one.

### **Availability of Utilities**

The subject property has access to City water and sanitary sewer infrastructure. A 10-inch water line exists along the east side of Westminister Road. A 6-inch sanitary sewer line also runs along the southern border of the property.

### **Impact on Existing and Future Development**

The proposed CUP will not significantly impact surrounding properties or developments, if the conditions are met. Much of the area was developed in the mid-1980s, and this parcel has remained undeveloped. A self-storage facility is an appropriate development for this infill site because it does not require the high visibility and thoroughfare frontage that is often critical to the success of other types of businesses, and the low-impact nature of the use allows it to be compatible with the adjacent multifamily use.

### **Additional Comments**

The City's Development Review Committee (DRC) has reviewed this request, and there were no additional comments from other departments at the time of this report.

### **Public Notification**

Staff sent public notices, comment forms and a vicinity map to the applicant, the owner of the property and to property owners within 200 feet of the subject property under

consideration for the zone change. Additionally, a legal notice of the public hearing was published in the local newspaper, and a notification sign was placed on the property by the applicant.

**Opposition to or Support of Proposed Request**

Staff has not received any returned notices in opposition to or in support of the CUP request.

**Exhibits**

1. Aerial Map
2. Zoning Map
3. Future Land Use Map
4. Notification Map
5. Notification List
6. Applicant Packet



# Exhibit 1

**AERIAL MAP**

**CUP 16-00011**

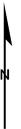
**NE of Westminister Rd  
and Broadway St**

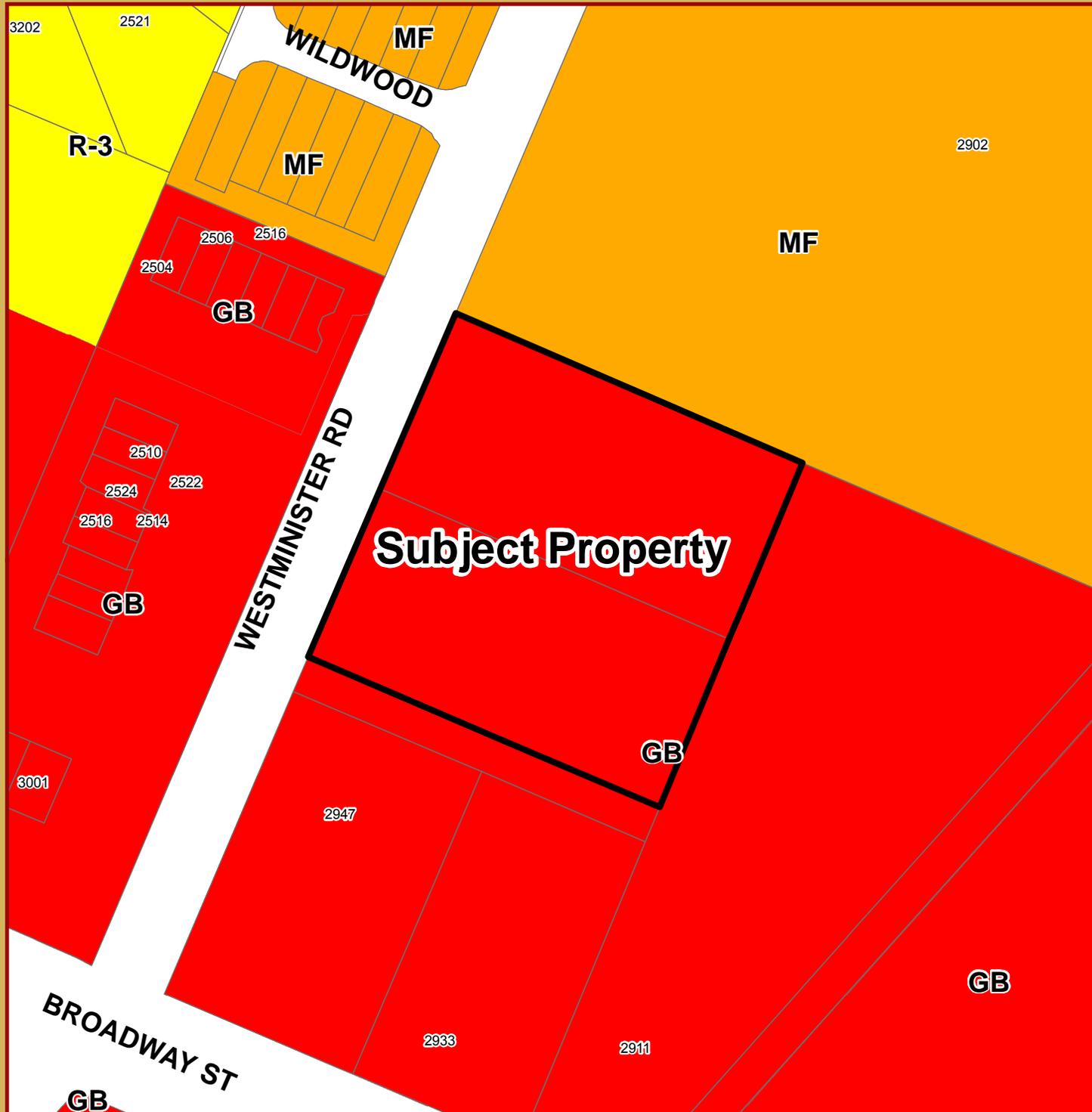


This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

1 inch = 115 feet

OCTOBER 2016  
PLANNING DEPARTMENT





## Exhibit 2

### ZONING MAP

CUP 16-00011

NE of Westminister Rd  
and Broadway St



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

1 inch = 115 feet

OCTOBER 2016  
PLANNING DEPARTMENT



**Medium Density Residential**

**High Density Residential**

**Subject Property**

**Retail, Offices and Services**

2902

2506 2516  
2504 2510 2518  
2508 2508  
2506

**WESTMINISTER RD**

2510 2522  
2524  
2516 2514  
2518 2514  
2520 2528

3001

2947

**BROADWAY ST**

2933

2911

## Exhibit 3

**FLUP MAP**

**CUP 16-00011**

**NE of Westminister Rd  
and Broadway St**

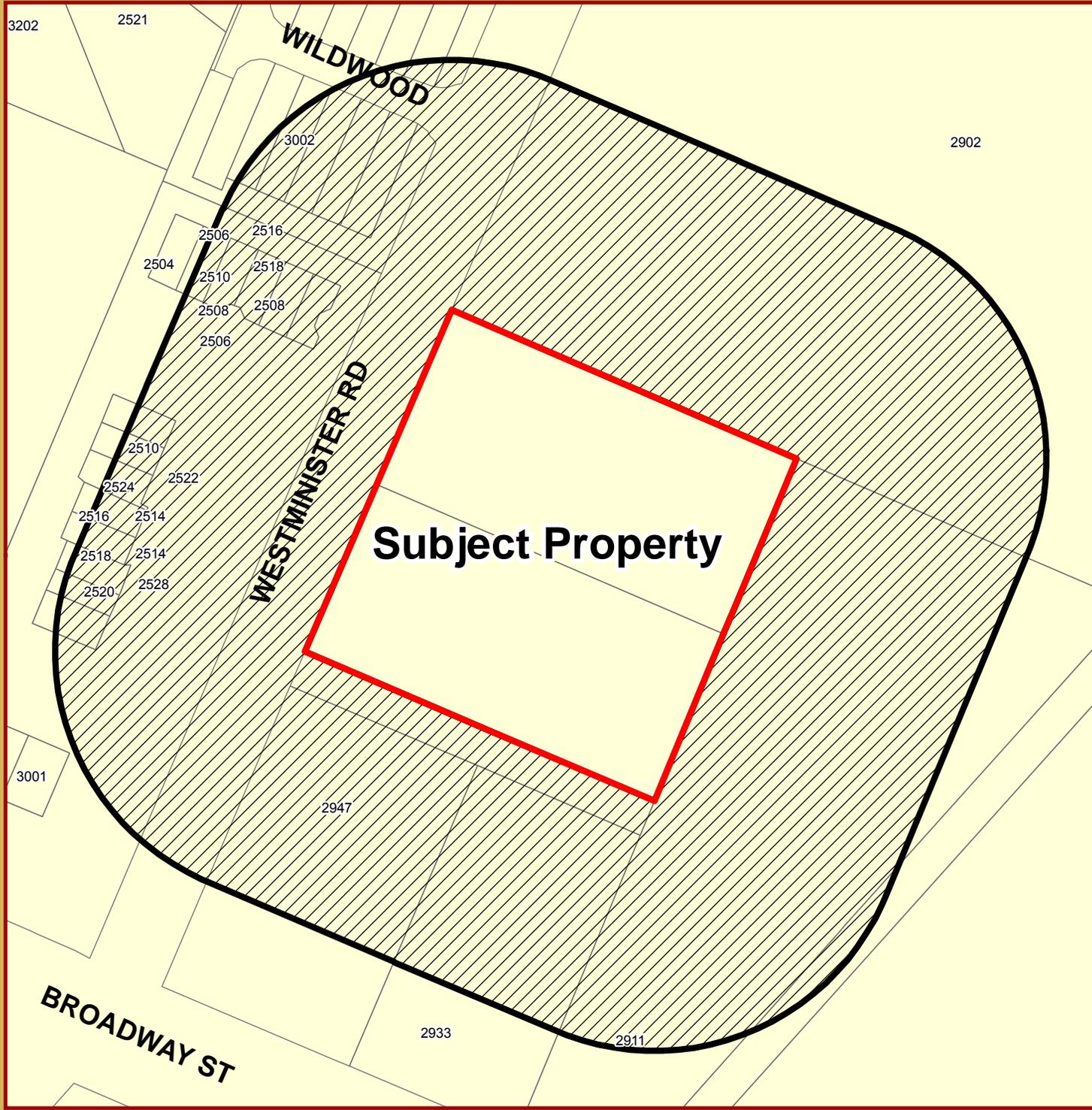


This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

1 inch = 115 feet

OCTOBER 2016  
PLANNING DEPARTMENT





# Exhibit 4

## NOTIFICATION MAP

CUP 16-00011

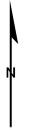
NE of Westminister Rd  
and Broadway St



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

1 inch = 115 feet

OCTOBER 2016  
PLANNING DEPARTMENT



**Exhibit 5**

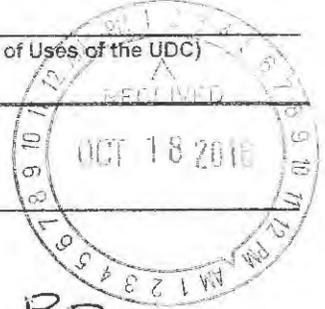
CUP 16-00011

| <b>Property_Owner</b>                        | <b>Address</b>                 | <b>City</b>    | <b>State</b> | <b>Zip_Code</b> |
|--|--------------------------------|----------------|--------------|-----------------|
| 2947 BROADWAY INVESTMENTS INC                | PO BOX 591366                  | HOUSTON        | TX           | 77259           |
| DARBY CRAIG A & LISA M                       | 3805 PINE BRANCH DR            | PEARLAND       | TX           | 77581           |
| FIRST NATL BANK-PEARLAND % HEDAYATI MAHMUDK  | 2107 E LINWOOD OAKS ST         | PEARLAND       | TX           | 77581           |
| FWG PARTNER LTD                              | PO BOX 451509                  | HOUSTON        | TX           | 77245           |
| GEHRING ALICE F                              | 2526 WESTMINISTER ST           | PEARLAND       | TX           | 77581           |
| GREAT BARRIER LLC                            | PO BOX 636                     | PEARLAND       | TX           | 77588           |
| <b>GREENSPACE HOLDINGS LLC</b>               | <b>1100 NASA PKWY, STE 685</b> | <b>HOUSTON</b> | <b>TX</b>    | <b>77058</b>    |
| KELLEY R W FAMILY LTD PARTNERSHIP            | 2933 BROADWAY ST               | PEARLAND       | TX           | 77581           |
| NERWAT LLC                                   | 2504 WESTMINISTER ST           | PEARLAND       | TX           | 77581           |
| TARRER RICHARD A                             | 3203 E CEDAR HOLLOW DR         | PEARLAND       | TX           | 77584           |
| WHISPERING WINDS APARTMENTS LLC % BEN BEITEL | 1449 37TH ST                   | BROOKLYN       | NY           | 11218           |



# APPLICATION FOR A CONDITIONAL USE PERMIT (CUP)

Conditional Use Permit Request for: MINI-WAREHOUSE  
(list proposed use from the Table of Uses of the UDC)



Current Zoning District: GENERAL BUSINESS

**Property Information:**

Address or General Location of Property: 2911 WESTMINISTER RD  
PEARLAND TX 77581

Tax Account No. 82772001000

Subdivision: WHISPERING WINDS Lot: 1 Block: 1

**A complete application must include all information shown on the Application Checklist attached to this application.**

**PROPERTY OWNER INFORMATION:**

NAME GREEN SPACE HOLDINGS LLC  
 ADDRESS 1100 NASA PKWY STE 685  
 CITY HOUSTON STATE TX ZIP 77058  
 PHONE (713) 906-2550  
 FAX ( ) N/A  
 E-MAIL ADDRESS RICK@GREENSPACEHOLDINGS.COM

**APPLICANT/AGENT INFORMATION:**

NAME GREEN SPACE HOLDINGS LLC  
 ADDRESS 1100 NASA PKWY STE 685  
 CITY HOUSTON STATE TX ZIP 77058  
 PHONE (713) 906-2550  
 FAX ( ) N/A  
 E-MAIL ADDRESS RICK@GREENSPACEHOLDINGS.COM

\*Property owner must be the current owner of the property at the time of submittal of the application, and not the party that has the property under contract.

As owner and applicant, I hereby request approval of the above described request as provided for by the Unified Development Code of the City of Pearland.

Owner's Signature: [Signature] Date: 10-18-2016

Agent's / Applicant's Signature: [Signature] Date: 10-18-2016

**OFFICE USE ONLY:**

|           |                            |                                 |                 |
|-----------|----------------------------|---------------------------------|-----------------|
| FEE PAID: | DATE PAID: <u>10/18/16</u> | RECEIVED BY: <u>[Signature]</u> | RECEIPT NUMBER: |
|-----------|----------------------------|---------------------------------|-----------------|

Application No CUP 16-00011

STATE OF TEXAS  
COUNTY OF BRAZORIA

WE, GREENSPACE HOLDINGS, LLC, OWNERS OF THE PROPERTY SUBDIVIDED IN THE MAP HEREON OF THE "AMENDING PLAT OF LOTS 'A' AND 'B', BLOCK ONE OF WHISPERING WINDS SUBDIVISION", CONTAINING 2.101 ACRES, DO HEREBY MAKE SUBDIVISION OF SAID PROPERTY, ACCORDING TO THE PROPERTY LINES, LOTS, BUILDING LINES, AND EASEMENTS SHOWN HEREON, AND DO HEREBY DEDICATE FOREVER FOR THE USE OF THE PUBLIC, AS SUCH, THE LAND SHOWN HEREON AS HEREBY DEDICATED TO THE PUBLIC FOR EASEMENT AND RIGHT-OF-WAY, AND DO HEREBY WAIVE ALL CLAIMS FOR DAMAGES OCCASIONED BY THE ESTABLISHMENT OF GRADES, AS APPROVED, FOR THE EASEMENT DEDICATED, OR OCCASIONED BY THE ALTERATION OF THE SURFACE, OF AND PORTION OF THE DRAINAGE EASEMENTS TO CONFORM TO SUCH GRADES, AND DO HEREBY BIND OURSELVES, OUR HEIRS, SUCCESSORS, AND ASSIGNS TO WARRANT AND FOREVER DEFEND THE TITLE TO THE LAND SO DEDICATED, SUBJECT, TO ALL MATTERS OF RECORD.

WITNESS MY HAND IN Harris COUNTY, TEXAS  
THIS 6th DAY OF October, 2016.

BY: David Ledoux  
TITLE: MANAGER

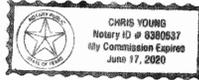
STATE OF TEXAS  
COUNTY OF BRAZORIA

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED DAVID LEDOUX, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN SET FORTH.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS 6th DAY OF October, 2016.

NOTARY PUBLIC IN AND FOR Harris COUNTY, TEXAS.

MY COMMISSION EXPIRES: 6/17/2020



STATE OF TEXAS  
COUNTY OF BRAZORIA

WE, B.L. STANLEY, LTD., ACTING BY AND THROUGH KREG STANLEY, IN HIS CAPACITY AS PARTNER, BEING THE HOLDER OF A LIEN AGAINST THE ABOVE DESCRIBED PROPERTY, DOES HEREBY IN ALL THINGS SUBORDINATE TO SAID SUBDIVISION AND DECLARATION THE SAID LIEN, AND DOES HEREBY CONFIRM THAT B.L. STANLEY, LTD. IS THE PRESENT OWNER OF SAID LIEN AND HAS NOT ASSIGNED THE SAME, NOR ANY PART THEREOF.

WITNESS MY HAND IN Harris COUNTY, TEXAS.  
THIS 6th DAY OF October, 2016.

BY: Kreg Stanley

STATE OF TEXAS  
COUNTY OF BRAZORIA

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED KREG STANLEY, OF B.L. STANLEY, LTD., KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN SET FORTH AND IN THE CAPACITY THEREIN AND HEREIN STATED, AND AS THE ACT AND DEED OF SAID BANK.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS 6th DAY OF October, 2016.

NOTARY PUBLIC IN AND FOR Harris COUNTY, TEXAS.

MY COMMISSION EXPIRES: 6/17/2020



CERTIFICATE OF CITY PLANNER

THIS IS TO CERTIFY THAT THE CITY PLANNER OF THE CITY OF PEARLAND, TEXAS HAS APPROVED THIS "AMENDING PLAT OF LOTS 'A' AND 'B', BLOCK ONE OF WHISPERING WINDS SUBDIVISION" AND IS IN CONFORMANCE WITH THE LAWS OF THE STATE OF TEXAS AND THE ORDINANCES OF THE CITY OF PEARLAND AS SHOWN HEREON AND AUTHORIZES THE RECORDING OF THIS PLAT THIS 17th DAY OF October, 2016.

BY: Leo Kue

CITY PLANNER

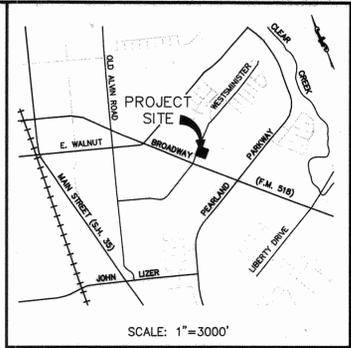
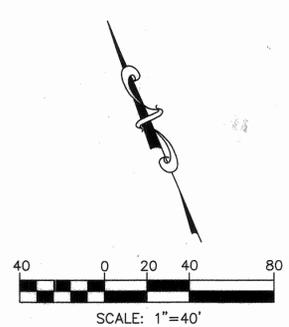
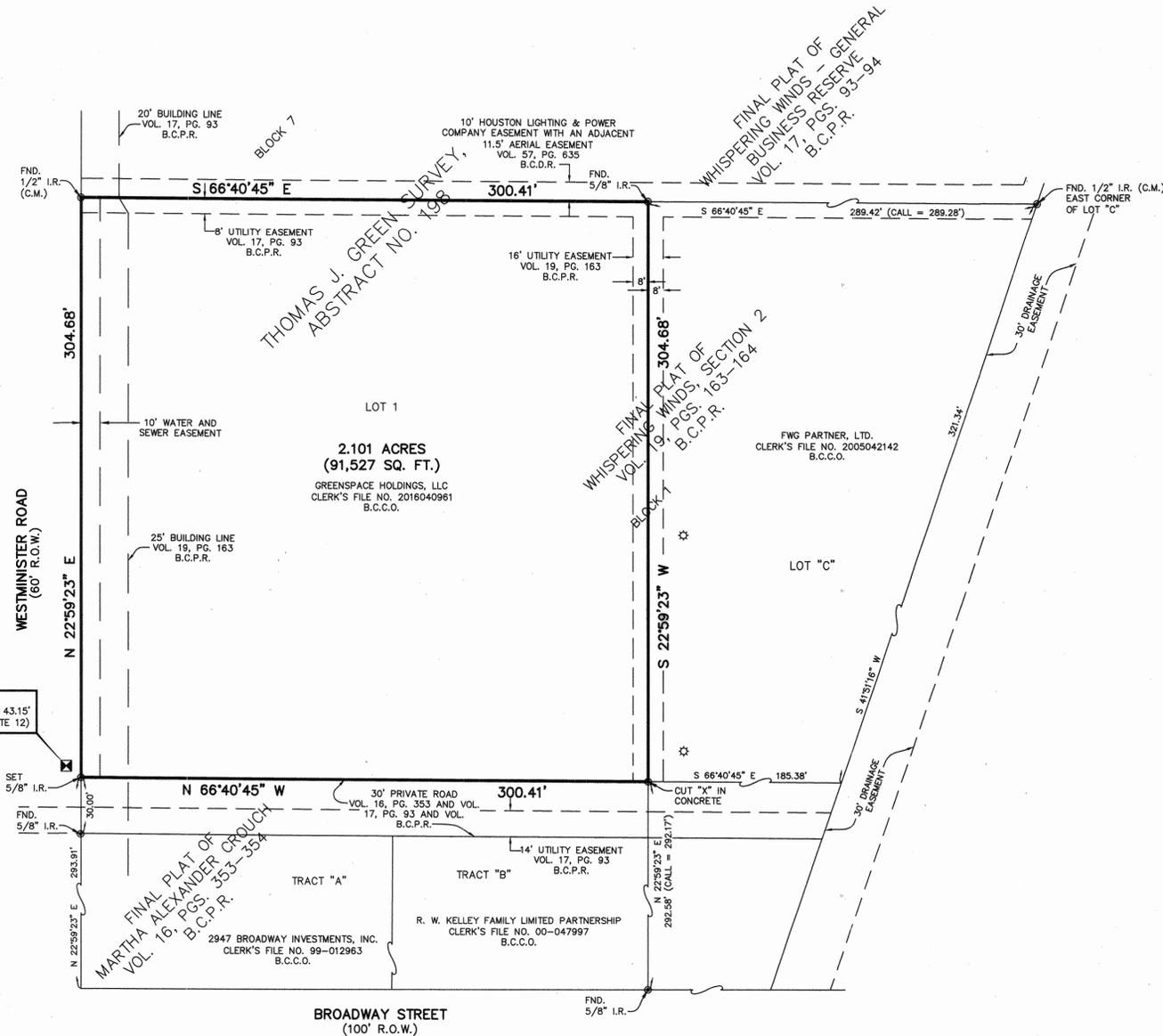
BY: Darrin Coker

CITY ENGINEER

DARRIN COKER,  
CITY ATTORNEY

NOTES:

- 1. BEARINGS AND SURFACE COORDINATE SHOWN HEREON ARE BASED ON THE TEXAS COORDINATE SYSTEM OF 1983, SOUTH CENTRAL ZONE. SCALE FACTOR: 0.99987.
- 2. ACCORDING TO FEMA FIRM MAP NUMBER 48038C0045A DATED SEPTEMBER 22, 1999, THE SUBJECT TRACT LIES IN AN UNSHADED ZONE "X" AREA. THIS DESIGNATION IS BASED ON SCALING FROM THE FEMA ALL FLOODPLAIN INFORMATION NOTED HEREON REFLECTS THE STATUS PER THE FEMA FIRM MAP THAT IS EFFECTIVE AT THE TIME THIS PLAT IS RECORDED. FLOODPLAIN STATUS IS SUBJECT TO CHANGE AS FEMA FIRM MAPS ARE UPDATED.
- 3. THIS PLAT HAS BEEN PREPARED TO MEET THE REQUIREMENTS OF THE STATE OF TEXAS, BRAZORIA COUNTY AND THE CITY OF PEARLAND.
- 4. THIS PLAT WAS PREPARED FROM INFORMATION PROVIDED BY CHARTER TITLE COMPANY, G.F. NO. 1017003705CS, DATED SEPTEMBER 9, 2016.
- 5. ALL SUBDIVISION COMMON AREAS, INCLUDING BUT NOT LIMITED TO, DETENTION FACILITIES, EASEMENTS, AND OPEN SPACE WITHIN THE BOUNDARIES OF THIS PLAT SHALL BE MAINTAINED BY A HOMEOWNERS ASSOCIATION, COMMERCIAL PROPERTY ASSOCIATION OR OTHER ENTITY AND SHALL NOT BE THE RESPONSIBILITY OF THE CITY OF BRAZORIA COUNTY.
- 6. ANY CONSTRUCTION PROPOSED TO BE INSTALLED WITHIN A PROPERTY EASEMENT WITH PRESCRIBED RIGHTS TO A PRIVATE ENTITY SHALL REQUIRE THE PERMISSION OF THE PRIVATE ENTITY PRIOR TO THE START OF CONSTRUCTION. FAILURE TO SECURE SUCH PERMISSION MAY RESULT IN THE RIGHT HOLDERS(S) OF THE EASEMENT REQUIRING ANY UNAPPROVED PAVEMENT, STRUCTURES, UTILITIES, OR OTHER FACILITIES LOCATED WITHIN THE EASEMENT. THE RESPONSIBILITY OF SECURING APPROVAL FROM THE PRIVATE ENTITIES TO BUILD WITHIN AN EASEMENT IS SOLELY THAT OF THE PROPERTY OWNER.
- 7. THE MINIMUM SLAB ELEVATION FOR ALL BUILDINGS LOCATED WITHIN THE BOUNDARIES OF THIS PLAT SHALL BE THE HIGHER OF (1) EITHER 12 INCHES ABOVE THE TOP OF CURB ELEVATION FOR A CURB STREET OR 12 INCHES ABOVE THE ELEVATION OF THE EDGE OF THE ROADWAY IF NO CURB EXISTS, OR (2) 12 INCHES ABOVE THE 100 YEAR FLOODPLAIN WATER SURFACE ELEVATION FOR STRUCTURES TO BE LOCATED WITHIN THE 100 YEAR FLOODPLAIN.
- 8. ANY PROPOSED DRAINAGE SYSTEM FOR THIS SUBDIVISION SHALL BE DESIGNED TO MEET THE REQUIREMENTS OF THE CITY OF PEARLAND AND BRAZORIA DRAINAGE DISTRICT #4, AND MAINTENANCE OF ANY DRAINAGE SYSTEM WILL BE THE RESPONSIBILITY OF THE OWNER.
- 9. ALL LANDSCAPING AND STRUCTURES, INCLUDING FENCES AT INTERSECTIONS SHALL CONFORM TO THE CITY OF PEARLAND AND AASHTO SITE DISTANCE REQUIREMENTS FOR MOTORISTS.
- 10. DRIVEWAY REQUIREMENTS FOR THE LOCATION, WIDTHS AND OFFSETS FROM AN INTERSECTION AND ANY EXISTING DRIVEWAY OR PROPOSED DRIVEWAYS, SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PEARLAND ENGINEERING DESIGN CRITERIA MANUAL AND UNIFIED DEVELOPMENT CODE.
- 11. PROJECT BENCHMARK IS CITY OF PEARLAND GPS MONUMENT # 1, ELEVATION = 45.19', NVD 29 (1987 ADJUSTMENT).
- 12. PROJECT TBM # 1 IS THE TOP OF A STORM MANHOLE (NORTH SIDE) LOCATED APPROXIMATELY 18 FEET SOUTH OF AN EXISTING FIRE HYDRANT AND APPROXIMATELY 10 FEET NORTHWEST OF THE SOUTHWEST CORNER OF SUBJECT TRACT. ELEVATION = 43.15' NVD29 (87 ADJ.). SURFACE COORDINATE IS N 13.771,403.07, E 3,155,228.59' (SCALE FACTOR: 0.99987)
- 13. ACCESS RIGHTS TO PARKING AREAS AND DRIVEWAYS ARE HEREBY GRANTED TO ALL ADJOINING COMMERCIAL PROPERTIES.
- 14. THE SUBJECT TRACT DOES NOT LIE WITHIN A MUNICIPAL UTILITY DISTRICT (MUD).



ACREAGE TABLE

|       |            |
|-------|------------|
| LOT 1 | 0.380 ACRE |
| LOT 2 | 0.421 ACRE |

LEGEND

|          |                                |
|----------|--------------------------------|
| B.C.C.O. | BRAZORIA COUNTY CLERK'S OFFICE |
| B.C.D.R. | BRAZORIA COUNTY DEED RECORDS   |
| B.C.M.R. | BRAZORIA COUNTY MAP RECORDS    |
| (C.M.)   | CONTROL MONUMENT               |
| FND      | FOUND                          |
| H.L.&P.  | HOUSTON LIGHTING AND POWER     |
| R.O.W.   | RIGHT-OF-WAY                   |
| I.P.     | IRON PIPE                      |
| I.R.     | IRON ROD                       |
| *        | EXISTING STREETLIGHT           |

THE PURPOSE OF THIS AMENDING PLAT IS TO CREATE ONE LOT FROM TWO LOTS.

# AMENDING PLAT OF LOTS "A" AND "B", BLOCK 1 OF WHISPERING WINDS SUBDIVISION

A SUBDIVISION OF 2.101 ACRES LOCATED IN THE THOMAS J. GREEN SURVEY, ABSTRACT NO. 198, IN THE CITY OF PEARLAND, BRAZORIA COUNTY, TEXAS

1 BLOCK 1 LOT  
OCTOBER, 2016

2911 WESTMINISTER ROAD

OWNER:

GREENSPACE HOLDINGS, LLC  
1100 NASA PARKWAY, SUITE 685  
HOUSTON, TEXAS 77058  
PHONE: (832) 982-0600

PREPARED BY:

THE WILSON SURVEY GROUP  
PROFESSIONAL LAND SURVEYORS  
2006 E. BROADWAY PEARLAND, TEXAS  
(281) 485-3991 FAX (281) 485-3998  
CONTACT: CHRIS L. HENDRICK

CERTIFICATE OF SURVEYOR

I, MICHAEL D. WILSON, AM REGISTERED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF SURVEYING AND HEREBY CERTIFY THAT THE ABOVE SUBDIVISION IS TRUE AND CORRECT; WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND; THAT ALL BOUNDARY CORNERS, ANGLE POINTS, POINTS OF CURVATURE AND OTHER POINTS OF REFERENCE HAVE BEEN MARKED WITH IRON (OR OTHER SUITABLE PERMANENT METAL PIPES OR RODS) HAVING AN OUTSIDE DIAMETER OF NOT LESS THAN FIVE-EIGHTH (5/8) INCH AND A LENGTH OF NOT LESS THAN TWO (2) FEET, UNLESS OTHERWISE NOTED.

BY: Michael D. Wilson

MICHAEL D. WILSON  
REGISTERED PROFESSIONAL  
LAND SURVEYOR NO. 4821





This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

Scale 1:2,246  
 1 in = 187 ft  
 October 17, 2016





## GreenSpace Holdings LLC

1100 NASA Parkway, Suite 685 Houston, TX 77058  
Tel: 832.982.0600 www.GreenSpaceHoldings.com

October 18, 2016

City of Pearland Planning Department  
3523 Liberty Drive  
Pearland, Texas 77581

Subject: Letter of Intent explaining the Conditional Use Permit request  
Reference: Self-Storage Conditional Use Permit Application – GreenSpace Holdings

To whom it may concern,

GreenSpace Holdings LLC (GSH) hereby submits an application for a Conditional Use Permit for the above referenced project located at 2911 Westminister Road.

GSH wishes to construct a 136,632 gross square feet (102,896 net rentable square feet), 3-story self-storage facility on our 2.101-acre site, providing a wide range of self-storage units to residents in the area. The building will be approximately 219 feet wide x 212 feet deep x 40 feet high.

The property is currently covered with only grass; no trees or buildings exist on the property.

The facility will be climate controlled with HVAC systems and will meet architectural requirements via the use of the appropriate amounts of masonry, stucco and glass, as was advised in our August 17, 2016 predevelopment meeting.

We hired CubeSmart, one of the big-four self-storage public REITs, to manage the facility operations. CubeSmart has decades of experience both owning and operating hundreds of self-storage facilities across the nation. Thus, finishes and signs will meet CubeSmart's specifications. CubeSmart will control the hours of operation of the facility, which we believe will be approximately 6:00 AM to 9:00 PM daily.

GSH and our Design/Build Contractor TMS attended a Pre-Development meeting on August 17, at which time we were told that the property received a CUP for a self-storage facility in 2006 (case No. 2006-06). Since then, the CUP has expired. It is our hope that after the following application and attachments are reviewed, the City of Pearland will issue a CUP for this similar purpose, which was previously approved.

We understand your CUP procedural process, and realize the impact of the proposed conditional use on, and its compatibility with, surrounding properties and residential areas must be determined. We appreciate that the use of the property must be, and will be, appropriate for the area and comply with your comprehensive planning and zoning regulations. We are also sensitive to the need to preserve the character and integrity of adjacent developments and neighborhoods. To this end, the finished project will mitigate development related adverse impacts, such as traffic, noise, odors, visual nuisances, drainage or other similar adverse effects to adjacent development and neighborhoods. In addition, the project will provide 24-hour security and surveillance to ensure optimal security.

The project will not generate detrimental pedestrian and vehicular traffic which would be hazardous or conflict with the existing and anticipated traffic in the neighborhood. This is because self-storage is a low-volume traffic business, and generates little, if any, pedestrian traffic.

The project will not require any roadway adjustments, traffic control devices or mechanisms, either during construction or during operations, other than the addition of a single curb cut. Some construction traffic will be experienced; however, this is minimized via the use of our modular construction technique.

Another benefit of the development is that this self-storage project requires approximately 50% of the schedule requirements of a conventionally built multi-level climate-controlled self-storage facility, further minimizing construction traffic and construction noise durations.

The project will meet the City's 15% landscape requirement. And the project will comply with the City's requirements that a masonry fence be installed between the building and the adjacent apartment complex, directly north of the site. We will provide a 25-foot-wide green area between the facility and the subject apartment complex. We will install the required trees and other landscaping.

Since the land is zoned General Business, it is suitable for construction a self-storage facility (contingent of course on the issuance of a CUP).

The impervious surfaces of the development will include the building roof, entrance driveway, parking lot containing at least the minimum amount of parking spaces required by the city and a 26 feet wide fire lane around all sides of the building. Curbing and sidewalks will be installed as required.

We acknowledge that we must post a sign on the property ten (10) days prior to the public hearing.

Attached are copies of evidence that taxes and obligations have been paid.

Included is a Site Plan, complete with the proposed layout, building, parking, fire lanes, landscape plan, detention locations and descriptions.

Also included is a plat with the metes and bounds description, parcel map from the City of Pearland website, indicating the location and boundaries of the subject property, acknowledgement of the sign to be posted on the property ten (10) days prior to the public hearing

We trust the City finds the following attachments describing the facility acceptable. Please let us know as soon as possible of any needed modifications.

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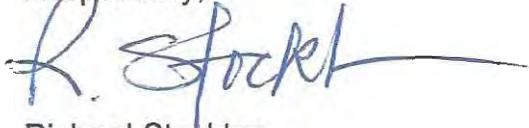
The following Checklist is from the City of Pearland's Development Handbook, August 2015.

- Application and checklist filled out completely and signed by the owner of the property.
- If the applicant is the designated agent, the application shall include a written statement from the property owner authorizing the agent to file the application on his behalf. Section 1.2.1.1 (a) of the Unified Development Code (UDC).
- Metes and bounds description (survey or plat of the property that provides or contains the metes and bounds description).
- Parcel map, printed from the City of Pearland website, indicating the location and boundaries of the subject property.
- Letter of Intent explaining the Conditional Use Permit request in detail, specifying:
  - Proposed uses
  - Specific operations of the use
  - Square footage of buildings/lot sizes
  - Unique characteristics of the property
  - Other necessary information
- Site plan showing the following:
  - Proposed layout of the subject property
  - Proposed buildings
  - Parking
  - Landscape plan
  - Detention ponds
  - Fence
  - Other relevant information
- Acknowledgement of the sign to be posted on the property ten (10) days prior to the public hearing.
- Provide evidence or proof that all taxes and obligations have been paid regarding the subject property.

Application fee, as determined below, by cash, check made payable to the City of Pearland, or credit card (Visa and MasterCard only). Please refer to the City's webpage [www.pearlandtx.gov](http://www.pearlandtx.gov) for updated fees.

I request this application be reviewed at the November 21, 2016 Joint Public Hearing.

Respectfully,

A handwritten signature in blue ink that reads "R. Stockton". The signature is fluid and cursive, with a long horizontal stroke extending to the right.

Richard Stockton  
Manager - GreenSpace Holdings LLC  
[Rick@GreenSpaceHoldings.com](mailto:Rick@GreenSpaceHoldings.com)  
713-906-2550

Attachments

Cc:

David Ledoux - GreenSpace Holdings LLC  
Stefan Knieling - TMS Contractors

# GreenSpace Holdings LLC

1100 NASA Parkway  
Suite 685  
Houston, Texas 77058  
O: +1 (832) 982-0600

October 18, 2016

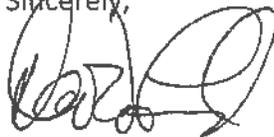
City of Pearland Community Development  
3523 Liberty Drive  
Pearland, Texas 77581

Re: Sign acknowledgment

Dear Sirs:

Please let this letter serve as official notice that GreenSpace Holdings LLC acknowledges that we will abide by the requirement to post a sign on our property on Westminister Road which we will post at least 10 days prior to the public hearing.

Sincerely,

A handwritten signature in black ink, appearing to read 'David Ledoux', written over a white background.

David Ledoux  
Manager/Member

### Property Tax Status

[Begin a New Search](#)   [Go to Your Portfolio](#)   [Tax Office FAQ's](#)

Make your check or money order payable to:  
Ro'Vin Garrett  
111 E. Locust  
Angleton, Texas 77515

*Shopping Cart:* For your convenience you may pay several accounts at once. Click the 'Click Here to Pay Now' button to add this account to the shopping cart. Additional accounts can be added by doing a search again, then clicking the 'Click Here to Pay Now' button for each account. Up to 50 accounts may be paid at one time. Accounts are not saved in the shopping cart after you go to the Certified Payment web site.

If using Internet Explorer version 8 or later, you may experience problems adding more than four accounts to your shopping cart. Please consider using a different browser (for ex., Chrome or Firefox) to manage your shopping cart.



A Convenience Fee of up to 2.4% will be charged for all credit card payments by the vendor providing this service. For eChecks, a convenience fee of \$1.50 will be charged for each transaction. The fee covers the cost of making payments by credit card possible. The fee will appear as a charge to 'Certified Payments'. No part of this fee is retained by Brazoria County.

Unless otherwise noted, all data refers to tax information for 2016. All amounts due include penalty, interest, and attorney fees when applicable. Due to the large volume of work during heavy payment periods amounts due may not reflect payments that have been received but not yet processed.

**Account Number:** 82772001000

**Address:**  
HEDAYATI MAHMUDK  
2107 EAST LINWOOD OAKS  
PEARLAND, TX 77581-3507

**Property Site Address:**  
WESTMINISTER RD

**Legal Description:**  
WHISPERING WINDS (PEARLAND), LOT A, SEC 2

**Current Tax Levy:** \$1,668.20  
**Current Amount Due:** \$1,668.20  
**Prior Year Amount Due:** \$0.00  
**Total Amount Due:** \$1,668.20

**Last Payment Amount for Current Year Taxes:**  
Not Received

**Active Lawsuits:** None

**Pending Credit Card or E-Check Payments:**  
No Payment Pending

[Click Here to Pay Now](#)

**Jurisdictions:**  
BRAZORIA COUNTY  
BRAZORIA DRAINAGE DIST 4  
CITY OF PEARLAND  
PEARLAND ISD  
SPECIAL ROAD & BRIDGE

**Market Value:** \$61,780  
**Land Value:** \$61,780  
**Improvement Value:** \$0  
**Capped Value:** \$0  
**Agricultural Value:** \$0  
**Exemptions:** None  
**Last Certified Date:** 09/18/2016

[Taxes Due Detail by Year and Jurisdiction](#)

[Payment Information](#)

[Print a Current Tax Statement](#)

[Click Here](#) to see your estimated amount due for a different date. You can see this information by year and by both year and jurisdiction.

Thursday, October 13, 2016

[Shopping Cart](#)**Property Tax Status**[Begin a New Search](#) [Go to Your Portfolio](#) [Tax Office FAQs](#)**Make your check or money order payable to:**

Ro'Vin Garrett  
111 E. Locust  
Angleton, Texas 77515

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Unless otherwise noted, all data refers to tax information for 2016. All amounts due include penalty, interest, and attorney fees when applicable. Due to the large volume of work during heavy payment periods amounts due may not reflect payments that have been received but not yet processed.

**Account Number:** 82772002000**Address:**

FIRST NATL BANK-PEARLAND  
% HEDAYATI MAHMUDK  
2107 E LINWOOD OAKS ST  
PEARLAND, TX 77581-3507

**Property Site Address:**

WESTMINISTER RD

**Legal Description:**

WHISPERING WINDS (PEARLAND), LOT B, SEC  
2, ACRES 1.051

**Current Tax Levy:** \$1,669.00**Current Amount Due:** \$1,669.00**Prior Year Amount Due:** \$0.00**Total Amount Due:** \$1,669.00**Last Payment Amount for Current Year Taxes:**

Not Received

**Active Lawsuits:** None**Pending Credit Card or E-Check Payments:**

No Payment Pending

[Click Here to Pay Now](#)

**Jurisdictions:**

BRAZORIA COUNTY  
BRAZORIA DRAINAGE DIST 4  
CITY OF PEARLAND  
PEARLAND ISD  
SPECIAL ROAD & BRIDGE

**Market Value:** \$61,810**Land Value:** \$61,810**Improvement Value:** \$0**Capped Value:** \$0**Agricultural Value:** \$0**Exemptions:** None**Last Certified Date:** 09/18/2016[Taxes Due Detail by Year and Jurisdiction](#)[Payment Information](#)[Print a Current Tax Statement](#)

[Click Here](#) to see your estimated amount due for a different date. You can see this information by year and by both year and jurisdiction.

2016 TAX STATEMENT



RO'VIN GARRETT, PCC  
 BRAZORIA COUNTY TAX ASSESSOR - COLLECTOR  
 111 E. LOCUST  
 ANGLETON, TEXAS 77515

**Certified Owner:**  
 HEDAYATI MAHMUDK  
 2107 EAST LINWOOD OAKS  
 PEARLAND, TX 77581-3507

**Legal Description:**  
 WHISPERING WINDS (PEARLAND), LOT A, SEC  
 2

Account No: 8277-2001-000  
 As of Date: 10/13/2016

Appr. Dist. No.: 489677

Legal Acres: 1.0506  
 Parcel Address: WESTMINISTER RD  
 Print Date: 10/13/2016

| Market Value  |                       | Appraised Value | Assessed Value | Capped Value  | Homesite Value | Agricultural Market Value | Non-Qualifying Value |
|---|-----------------------|-----------------|----------------|---------------|----------------|---------------------------|----------------------|
| Land  | Improvement           |                 |                |               |                |                           |                      |
| \$61,780  | \$0                   | \$61,780        | \$61,780       | \$0           | \$0            | \$0                       | \$61,780             |
| Taxing Unit   | Assessed Value (100%) | Exemptions      |                | Taxable Value | Tax Rate       | Tax                       |                      |
|   |                       | Code            | Amount         |               |                |                           |                      |
| BRAZORIA COUNTY   | \$61,780              |                 | \$0.00         | \$61,780      | 0.3974050      | \$245.52                  |                      |
| <i>Amount saved by additional sales tax revenue \$62.80</i> |                       |                 |                |               |                |                           |                      |
| SPECIAL ROAD & BRIDGE                                       | \$61,780              |                 | \$0.00         | \$61,780      | 0.0600000      | \$37.07                   |                      |
| PEARLAND ISD  | \$61,780              |                 | \$0.00         | \$61,780      | 1.4156000      | \$874.56                  |                      |
| BRAZORIA DRAINAGE DIST 4                                    | \$61,780              |                 | \$0.00         | \$61,780      | 0.1460000      | \$90.20                   |                      |
| CITY OF PEARLAND  | \$61,780              |                 | \$0.00         | \$61,780      | 0.6812000      | \$420.85                  |                      |

Total Tax: \$1,668.20  
 Total Tax Paid to date: \$0.00  
 Total Tax Remaining: \$1,668.20

**Exemptions:**

**AMOUNT DUE IF PAID BY:**

| 10/31/2016 0%  | 11/30/2016 0%  | 01/02/2017 0%  | 01/31/2017 0%             | 02/28/2017 7%             | 03/31/2017 9%             |
|----------------|----------------|----------------|---------------------------|---------------------------|---------------------------|
| \$1,668.20     | \$1,668.20     | \$1,668.20     | \$1,668.20                | \$1,784.97                | \$1,818.35                |
| 05/01/2017 11% | 05/31/2017 13% | 06/30/2017 15% | 07/31/2017 18 + up to 20% | 08/31/2017 19 + up to 20% | 10/02/2017 20 + up to 20% |
| \$1,851.70     | \$1,885.07     | \$1,918.43     | \$2,310.57                | \$2,330.15                | \$2,349.72                |

**School Information:**

PEARLAND ISD 2016 M&O 1.0400000 I&S 37560000 Total 1.4156000 2015 M&O 1.0400000 I&S 37560000 Total 1.4156000

PLEASE CUT AT THE DOTTED LINE AND RETURN THIS PORTION WITH YOUR PAYMENT.

4.1.64

Print Date: 10/13/2016

PLEASE NOTE YOUR ACCOUNT NUMBER ON YOUR CHECK AND MAKE CHECKS PAYABLE TO:

RO'VIN GARRETT, PCC  
 BRAZORIA COUNTY TAX ASSESSOR - COLLECTOR  
 111 E. LOCUST  
 ANGLETON, TEXAS 77515  
 (979) 864-1320, (979) 388-1320, (281) 756-1320



\* 8 2 7 7 2 0 0 1 0 0 0 \*

8277-2001-000  
 HEDAYATI MAHMUDK  
 2107 EAST LINWOOD OAKS  
 PEARLAND, TX 77581-3507

AMOUNT PAID:

\$

82772001000 2016 102016 00000166820 00000166820 00000166820 3

2016 TAX STATEMENT



RO'VIN GARRETT, PCC  
 BRAZORIA COUNTY TAX ASSESSOR - COLLECTOR  
 111 E. LOCUST  
 ANGLETON, TEXAS 77515

**Certified Owner:**  
 FIRST NATL BANK-PEARLAND  
 % HEDAYATI MAHMUDK  
 2107 E LINWOOD OAKS ST  
 PEARLAND, TX 77581-3507

**Legal Description:**  
 WHISPERING WINDS (PEARLAND), LOT B, SEC  
 2, ACRES 1.051

Account No: 8277-2002-000  
 As of Date: 10/13/2016

Appr. Dist. No.: 489681

Legal Acres: 1.0510  
 Parcel Address: WESTMINISTER RD  
 Print Date: 10/13/2016

| Market Value  |                       | Appraised Value | Assessed Value | Capped Value | Homesite Value | Agricultural Market Value | Non-Qualifying Value |
|---|-----------------------|-----------------|----------------|--------------|----------------|---------------------------|----------------------|
| Land  | Improvement           |                 |                |              |                |                           |                      |
| \$61,810  | \$0                   | \$61,810        | \$61,810       | \$0          | \$0            | \$0                       | \$61,810             |
| Taxing Unit   | Assessed Value (100%) | Exemptions Code |                | Amount       | Taxable Value  | Tax Rate                  | Tax                  |
| BRAZORIA COUNTY   | \$61,810              |                 |                | \$0.00       | \$61,810       | 0.3974050                 | \$245.64             |
| <i>Amount saved by additional sales tax revenue \$62.83</i> |                       |                 |                |              |                |                           |                      |
| SPECIAL ROAD & BRIDGE                                       | \$61,810              |                 |                | \$0.00       | \$61,810       | 0.0600000                 | \$37.09              |
| PEARLAND ISD  | \$61,810              |                 |                | \$0.00       | \$61,810       | 1.4156000                 | \$874.98             |
| BRAZORIA DRAINAGE DIST 4                                    | \$61,810              |                 |                | \$0.00       | \$61,810       | 0.1460000                 | \$90.24              |
| CITY OF PEARLAND  | \$61,810              |                 |                | \$0.00       | \$61,810       | 0.6812000                 | \$421.05             |

Total Tax: \$1,669.00  
 Total Tax Paid to date: \$0.00  
 Total Tax Remaining: \$1,669.00

**Exemptions:**

**AMOUNT DUE IF PAID BY:**

| 10/31/2016 0%  | 11/30/2016 0%  | 01/02/2017 0%  | 01/31/2017 0%             | 02/28/2017 7%             | 03/31/2017 9%             |
|----------------|----------------|----------------|---------------------------|---------------------------|---------------------------|
| \$1,669.00     | \$1,669.00     | \$1,669.00     | \$1,669.00                | \$1,785.83                | \$1,819.21                |
| 05/01/2017 11% | 05/31/2017 13% | 06/30/2017 15% | 07/31/2017 18 + up to 20% | 08/31/2017 19 + up to 20% | 10/02/2017 20 + up to 20% |
| \$1,852.60     | \$1,885.97     | \$1,919.36     | \$2,311.69                | \$2,331.28                | \$2,350.87                |

**School Information:**

PEARLAND ISD 2016 M&O 1.0400000 I&S 37560000 Total 1.4156000 2015 M&O 1.0400000 I&S 37560000 Total 1.4156000

PLEASE CUT AT THE DOTTED LINE AND RETURN THIS PORTION WITH YOUR PAYMENT.

4.164

Print Date: 10/13/2016

PLEASE NOTE YOUR ACCOUNT NUMBER ON YOUR CHECK AND MAKE CHECKS PAYABLE TO:

RO'VIN GARRETT, PCC  
 BRAZORIA COUNTY TAX ASSESSOR - COLLECTOR  
 111 E. LOCUST  
 ANGLETON, TEXAS 77515  
 (979) 864-1320, (979) 388-1320, (281) 756-1320



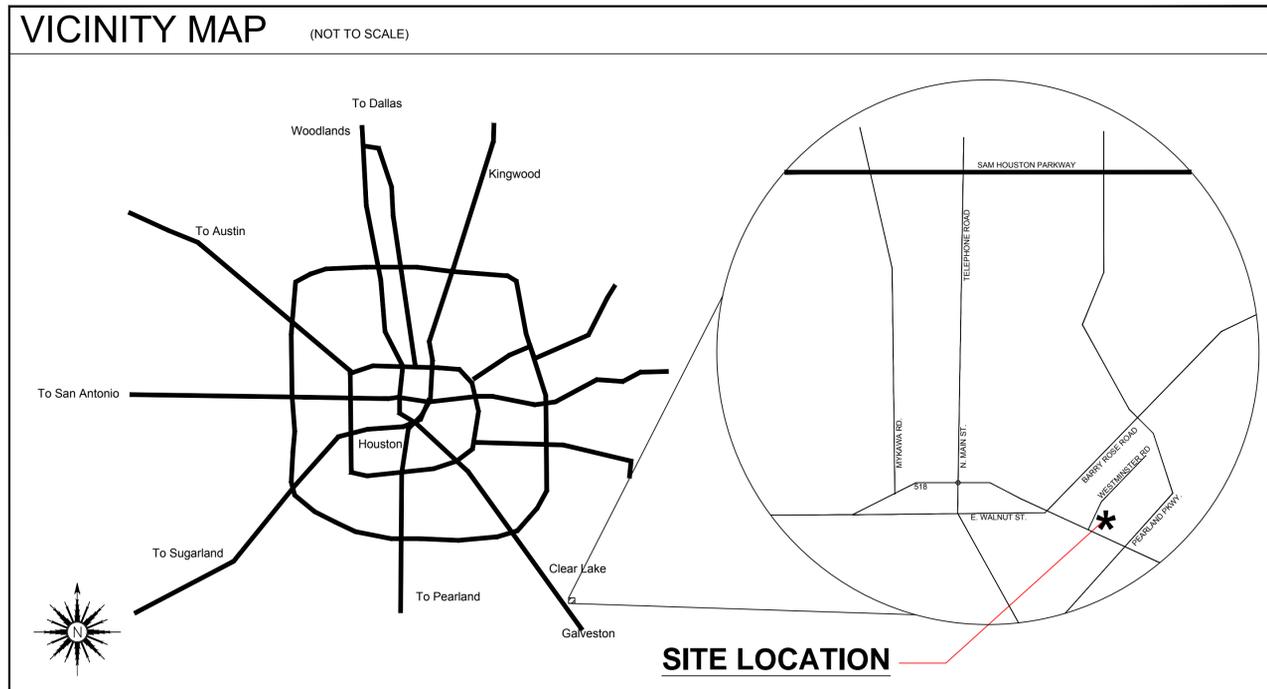
8277-2002-000  
 FIRST NATL BANK-PEARLAND  
 % HEDAYATI MAHMUDK  
 2107 E LINWOOD OAKS ST  
 PEARLAND, TX 77581-3507

AMOUNT PAID:

\$

82772002000 2016 102016 00000166900 00000166900 00000166900 0

# CUBE SMART STORAGE FACILITY - PEARLAND LOCATION



**PROJECT SCOPE**

CREATE NEW CONSTRUCTION LOCKABLE DRY STORAGE FACILITY. BUILDING TO BE ALL STEEL AND 3 STORIES TALL.

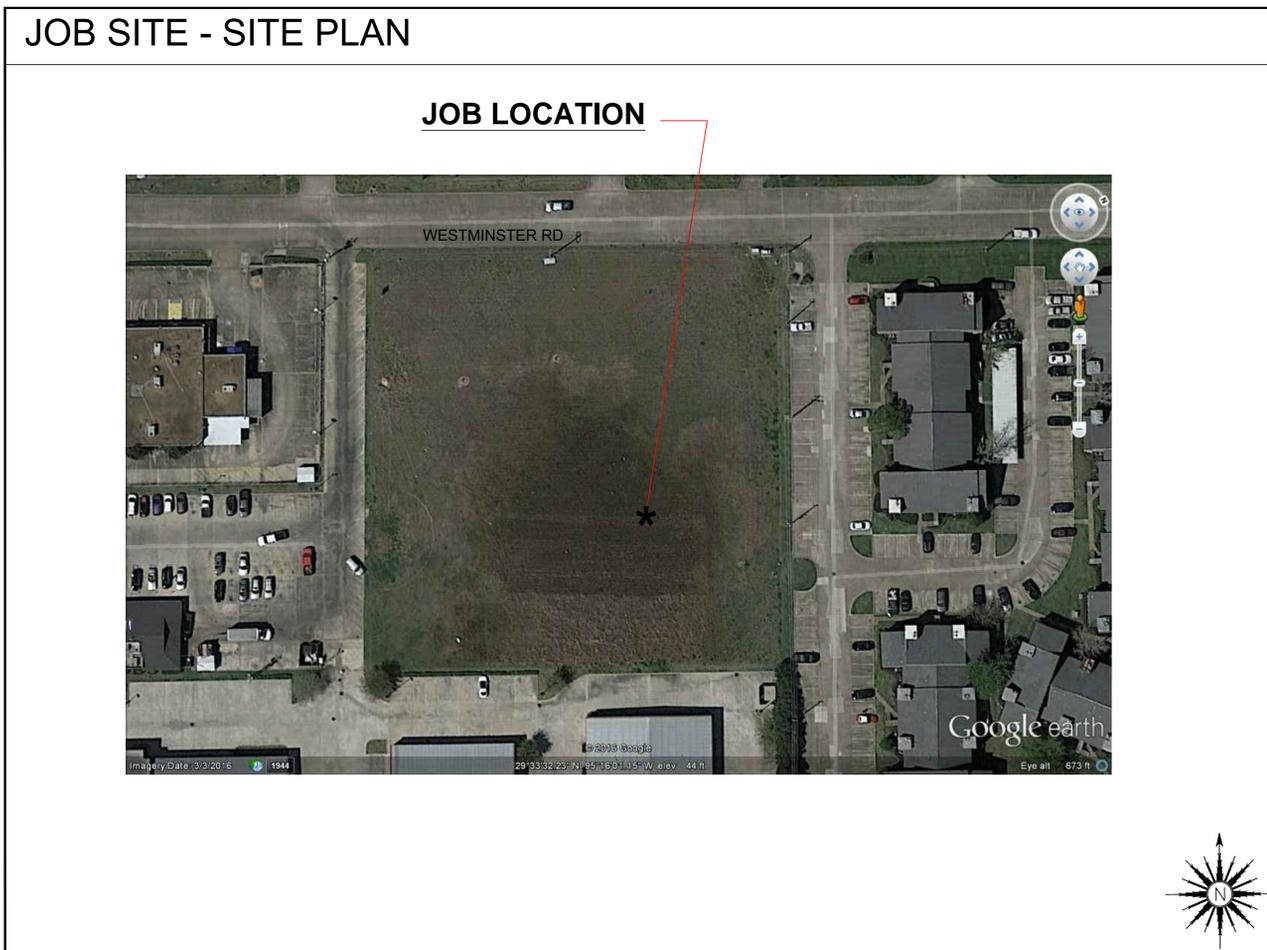
**INDEX OF DRAWINGS:**

|   |   |   |   |   |  |
|---|---|---|---|---|--|
| 5 | 4 | 3 | 2 | 1 | ARCHITECTURAL AND ELECTRICAL, MECHANICAL AND PLUMBING COMBINED |
|   |   |   |   |   | CS1 COVER SHEET  |
|   |   |   |   |   | CS2 SYMBOLS AND ABBREVIATIONS                                  |
|   |   |   |   |   | CS3 ACCESSIBILITY STANDARDS                                    |
|   |   |   |   |   | SP1.10 SITE PLAN   |
|   |   |   |   |   | A1.10 FIRST FLOOR PLAN - CONTAINERS                            |
|   |   |   |   |   | A1.20 FIRST FLOOR FLOOR PLAN                                   |
|   |   |   |   |   | A1.25 FIRST FLOOR STORAGE LAYOUT                               |
|   |   |   |   |   | A1.30 SECOND FLOOR PLAN - CONTAINERS                           |
|   |   |   |   |   | A1.35 SECOND FLOOR PLAN - STORAGE LAYOUT                       |
|   |   |   |   |   | A1.40 THIRD FLOOR PLAN - CONTAINER LAYOUT                      |
|   |   |   |   |   | A1.45 THIRD FLOOR STORAGE LAYOUT                               |
|   |   |   |   |   | A1.50 FRONT ELEVATION  |
|   |   |   |   |   | A1.60 EAST AND WEST ELEVATION                                  |
|   |   |   |   |   | A1.70 SOUTH ELEVATION  |
|   |   |   |   |   | A1.80 ROOF PLAN  |

NOTE: DRAWINGS NOT VALID WITHOUT AN ARCHITECTS' / INTERIOR DESIGNERS' / ENGINEER'S LICENSE SEAL, SIGNATURE & DATE.

**BUILDING CODE AND DATA**

|   |   |
|---|---|
| BUILDING CODES MIN.:  |   |
| BUILDING  | 2015 IBC  |
| PLUMBING  | 2015 IPC  |
| ELECTRICAL  | 2014NEC   |
| MECHANICAL  | 2015 IMC  |
| ACCESSIBILITY   | ADA AND ANSI 117.1 1998                         |
| ENERGY  | 2015 INTL ENERGY CONSERVATION CODE              |
| WINDSTORM   | DESIGNED FOR 110 MPH W/ 3 SEC. GUST. EXPOSURE C |
| SOILS   | EXPANSIVE                                       |
| SNOW LOAD   | 0 LBS / S.F.                                    |
| RAIN FALL RATE  | 6" / HOUR                                       |
| SEISMIC DESIGN CATEGORY                                     | "A"   |
| OCCUPANCY CLASSIFICATION                                    | S2  |
| TYPE OF CONSTRUCTION  | IIIB  |
| FIRE SPRINKLER SYSTEM                                       | SPRINKLED                                       |
| TOTAL BUILDING SQUARE FOOTAGE = 45,544 S.F. TOTAL PER FLOOR |   |
| 136,632 S.F. TOTAL BUILDING                                 |   |



- GENERAL NOTES**
1. REMOVE ALL DEBRIS FROM SITE AND DISPOSE CORRECTLY. KEEP SITE CLEAN AND SECURE AT ALL TIMES.
  2. DURING THE COURSE OF WORK - IF THE CONTRACTOR OR ITS AGENTS SHOULD DAMAGE OR DESTROY ANY EXISTING WORK WHICH IS TO REMAIN - THEN THE CONTRACTOR SHALL REPAIR OR REPLACE THE DAMAGED WORK TO ITS ORIGINAL CONDITION-AT THE CONTRACTORS EXPENSE.
  3. THE CONTRACTOR SHALL COORDINATE ALL WORK WITH THE OWNER PRIOR TO COMMENCING THE WORK.
  4. ALL WORK TO BE COMPLETED IN ACCORDANCE WITH ALL LOCAL CODES, STANDARD SPECIFICATIONS, AND DRAWING REQUIREMENTS.
  5. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE UTILITY COMPANIES AND TO VERIFY THE EXISTING LOCATION AND DEPTH OF THE UTILITIES PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL PROTECT ALL PRIVATE AND PUBLIC UTILITIES FROM DAMAGE.

**PROJECT DATES**

11-04-2016 ISSUED FOR REVIEW

**SURVEY PLAT # 2016051797**

PROJECT TITLE

**GREEN SPACE STORAGE FACILITY**  
 2911 WESTMINSTER  
 PEARLAND, TEXAS 77591

A PROJECT FOR:  
 TMS CONTRACTORS, LLC  
 713-256-3945  
 STEFAN KNIELING  
 PRESIDENT  
[SKNIELING@TMSCONTRACTORSLLC.COM](mailto:SKNIELING@TMSCONTRACTORSLLC.COM)

**TMS**  
 CONTRACTORS L.L.C.

|          |                  |
|----------|------------------|
| 11-04-16 | DESIGN DOCUMENTS |
|          |                  |
|          |                  |
|          |                  |
|          |                  |

PROJECT NO: 070116  
 DRAWN BY: MJM  
 CHECKED BY: SK  
 MALONEY SERVICES L.L.C. 2016. THIS OFFICE ASSUMES NO LIABILITY FOR ERRORS OR OMISSIONS ON THESE PLANS. ALL INFORMATION MUST BE CONFIRMED PRIOR TO COMMENCEMENT OF CONSTRUCTION. IT IS THE OWNERS AND BUILDERS RESPONSIBILITY FOR FOLLOWING MATERIAL AND MANUFACTURERS INSTRUCTIONS, AND USING RECOGNIZED STANDARDS FOR EACH TRADE, AS WELL AS COMPLIANCE IN FULL WITH ALL GOVERNING CODE REQUIREMENTS FOR THE GEOGRAPHIC AREA IN WHICH THIS PROJECT IS TO BE CONSTRUCTED.

SHEET TITLE

**COVER SHEET**

SHEET NUMBER

STATE OF TEXAS  
COUNTY OF BRAZORIA

WE, GREENSPACE HOLDINGS, LLC, OWNERS OF THE PROPERTY SUBDIVIDED IN THE MAP HEREON OF THE "AMENDING PLAT OF LOTS "A" AND "B", BLOCK ONE OF WHISPERING WINDS SUBDIVISION", CONTAINING 2.101 ACRES, DO HEREBY MAKE SUBDIVISION OF SAID PROPERTY, ACCORDING TO THE PROPERTY LINES, LOTS, BUILDING LINES, AND EASEMENTS SHOWN HEREON, AND DO HEREBY DEDICATE FOREVER FOR THE USE OF THE PUBLIC, AS SUCH, THE LAND SHOWN HEREON AS HEREBY DEDICATED TO THE PUBLIC FOR EASEMENT AND RIGHT-OF-WAY, AND DO HEREBY WAIVE ALL CLAIMS FOR DAMAGES OCCASIONED BY THE ESTABLISHMENT OF GRADES, AS APPROVED, FOR THE EASEMENT DEDICATED, OR OCCASIONED BY THE ALTERATION OF THE SURFACE, OF ANY PORTION OF THE DRAINAGE EASEMENTS TO CONFORM TO SUCH GRADES, AND DO HEREBY BIND OURSELVES, OUR HEIRS, SUCCESSORS, AND ASSIGNS TO WARRANT AND FOREVER DEFEND THE TITLE TO THE LAND SO DEDICATED, SUBJECT, TO ALL MATTERS OF RECORD.

WITNESS MY HAND IN Harris COUNTY, TEXAS  
THIS 6th DAY OF October, 2016.

BY: DAVID LEDOUX  
TITLE: MANAGER

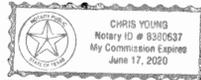
STATE OF TEXAS  
COUNTY OF BRAZORIA

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED DAVID LEDOUX, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN SET FORTH.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS 6th DAY OF October, 2016.

NOTARY PUBLIC IN AND FOR Harris COUNTY, TEXAS.

MY COMMISSION EXPIRES: 6/17/2020



STATE OF TEXAS  
COUNTY OF BRAZORIA

WE, B.L. STANLEY, LTD., ACTING BY AND THROUGH KREG STANLEY, IN HIS CAPACITY AS PARTNER, BEING THE HOLDER OF A LIEN AGAINST THE ABOVE DESCRIBED PROPERTY, DOES HEREBY IN ALL THINGS SUBORDINATE TO SAID SUBDIVISION AND DECLARATION THE SAID LIEN, AND DOES HEREBY CONFIRM THAT B.L. STANLEY, LTD. IS THE PRESENT OWNER OF SAID LIEN AND HAS NOT ASSIGNED THE SAME, NOR ANY PART THEREOF.

WITNESS MY HAND IN Harris COUNTY, TEXAS.  
THIS 6th DAY OF October, 2016.

BY: KREG STANLEY, PARTNER

STATE OF TEXAS  
COUNTY OF BRAZORIA

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED KREG STANLEY, OF B.L. STANLEY, LTD., KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN SET FORTH AND IN THE CAPACITY THEREIN AND HEREIN STATED, AND AS THE ACT AND DEED OF SAID BANK.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS 7th DAY OF October, 2016.

BY: Chris Young  
NOTARY PUBLIC IN AND FOR Harris COUNTY, TEXAS.

MY COMMISSION EXPIRES: 6/17/2020



CERTIFICATE OF CITY PLANNER

THIS IS TO CERTIFY THAT THE CITY PLANNER OF THE CITY OF PEARLAND, TEXAS HAS APPROVED THIS "AMENDING PLAT OF LOTS "A" AND "B", BLOCK ONE OF WHISPERING WINDS SUBDIVISION" AND IS IN CONFORMANCE WITH THE LAWS OF THE STATE OF TEXAS AND THE ORDINANCES OF THE CITY OF PEARLAND AS SHOWN HEREON AND AUTHORIZES THE RECORDING OF THIS PLAT THIS 6th DAY OF October, 2016.

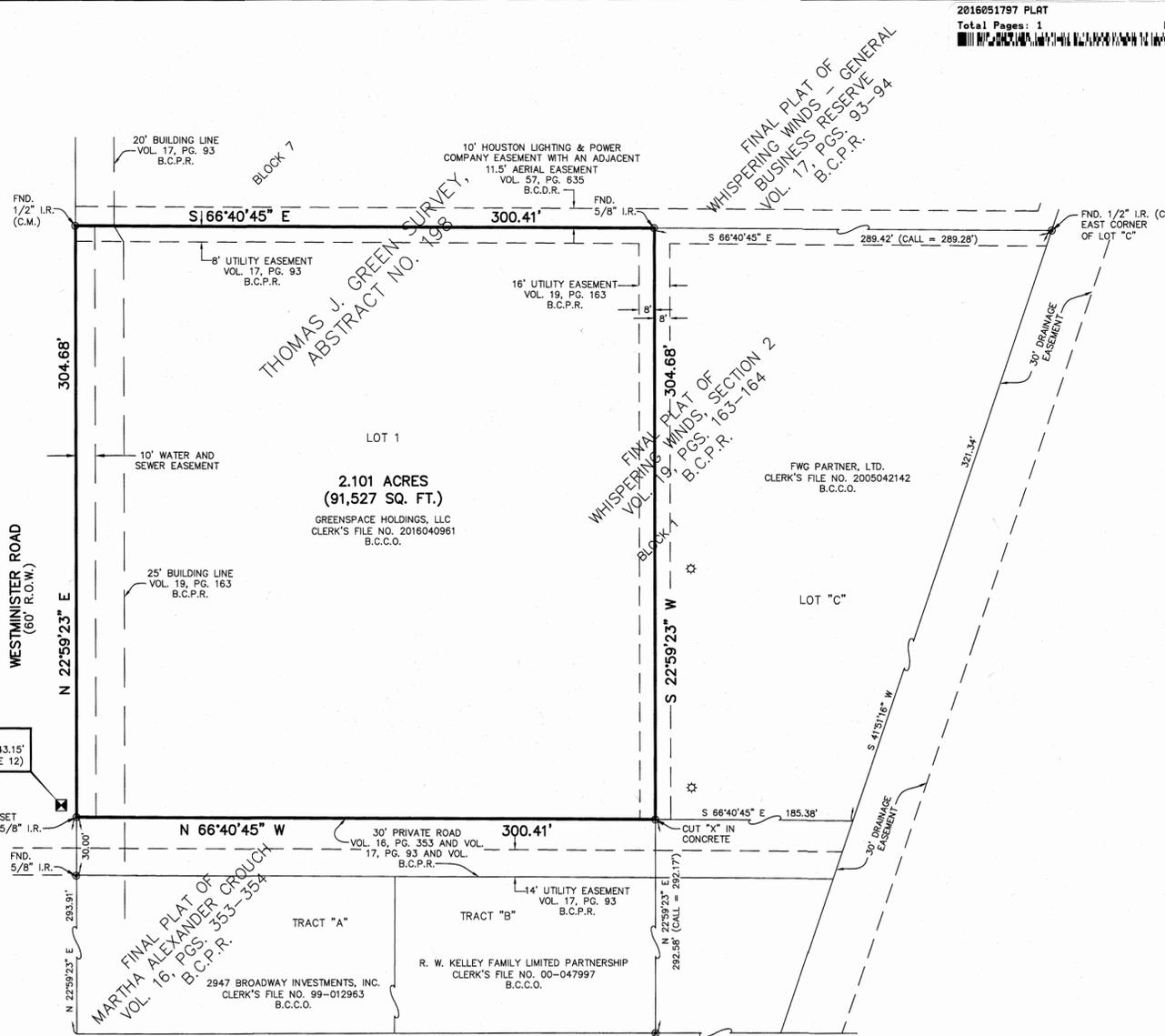
BY: [Signature]  
CITY PLANNER

BY: [Signature]  
CITY ENGINEER

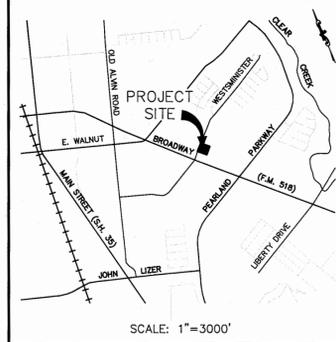
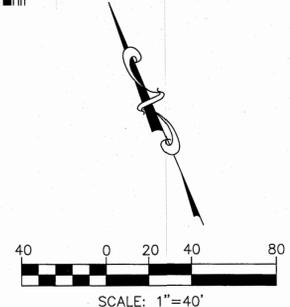
BY: [Signature]  
DARRIN COKER,  
CITY ATTORNEY

NOTES:

- 1. BEARINGS AND SURFACE COORDINATE SHOWN HEREON ARE BASED ON THE TEXAS COORDINATE SYSTEM OF 1983, SOUTH CENTRAL ZONE. SCALE FACTOR: 0.99997.
- 2. ACCORDING TO FEMA FIRM MAP NUMBER 48092004S J, DATED SEPTEMBER 22, 1999, THE SUBJECT TRACT LIES IN AN UNSHADED ZONE "X" AREA. THIS DESIGNATION IS BASED ON SCALING FROM THE FEMA. ALL FLOODPLAIN INFORMATION NOTED HEREON REFLECTS THE STATUS PER THE FEMA FIRM MAP THAT IS EFFECTIVE AT THE TIME THIS PLAT IS RECORDED. FLOODPLAIN STATUS IS SUBJECT TO CHANGE AS FEMA FIRM MAPS ARE UPDATED.
- 3. THIS PLAT HAS BEEN PREPARED TO MEET THE REQUIREMENTS OF THE STATE OF TEXAS, BRAZORIA COUNTY AND THE CITY OF PEARLAND.
- 4. THIS PLAT WAS PREPARED FROM INFORMATION PROVIDED BY CHARTER TITLE COMPANY, G.F. NO. 1017003705CS, DATED SEPTEMBER 9, 2016.
- 5. ALL SUBDIVISION COMMON AREAS, INCLUDING BUT NOT LIMITED TO, DETENTION FACILITIES, EASEMENTS, AND OPEN SPACE WITHIN THE BOUNDARIES OF THIS PLAT SHALL BE MAINTAINED BY A HOMEOWNERS ASSOCIATION, COMMERCIAL PROPERTY ASSOCIATION OR OTHER ENTITY AND SHALL NOT BE THE RESPONSIBILITY OF THE CITY OF PEARLAND OR BRAZORIA COUNTY.
- 6. ANY CONSTRUCTION PROPOSED TO BE INSTALLED WITHIN A PROPERTY EASEMENT WITH PRESCRIBED RIGHTS TO A PRIVATE ENTITY SHALL REQUIRE THE PERMISSION OF THE PRIVATE ENTITY PRIOR TO THE START OF CONSTRUCTION. FAILURE TO OBTAIN SUCH PERMISSION MAY RESULT IN THE RIGHT HOLDER(S) OF THE EASEMENT REMOVING ANY UNAPPROVED PAVEMENT, STRUCTURES, UTILITIES, OR OTHER FACILITIES LOCATED WITHIN THE EASEMENT. THE RESPONSIBILITY OF SECURING APPROVAL FROM THE PRIVATE ENTITIES TO BUILD WITHIN AN EASEMENT IS SOLELY THAT OF THE PROPERTY OWNER.
- 7. THE MINIMUM SLAB ELEVATION FOR ALL BUILDINGS LOCATED WITHIN THE BOUNDARIES OF THIS PLAT SHALL BE THE HIGHER OF (1) EITHER 12 INCHES ABOVE THE TOP OF CURB ELEVATION FOR A CURB STREET OR 12 INCHES ABOVE THE ELEVATION OF THE EDGE OF THE ROADWAY IF NO CURB EXISTS, OR (2) 12 INCHES ABOVE THE 100 YEAR FLOODPLAIN WATER SURFACE ELEVATION FOR STRUCTURES TO BE LOCATED WITHIN THE 100 YEAR FLOODPLAIN.
- 8. ANY PROPOSED DRAINAGE SYSTEM FOR THIS SUBDIVISION SHALL BE DESIGNED TO MEET THE REQUIREMENTS OF THE CITY OF PEARLAND AND BRAZORIA DRAINAGE DISTRICT #4, AND MAINTENANCE OF ANY DRAINAGE SYSTEM WILL BE THE RESPONSIBILITY OF THE OWNER.
- 9. ALL LANDSCAPING AND STRUCTURES, INCLUDING FENCES AT INTERSECTIONS SHALL CONFORM TO THE CITY OF PEARLAND AND AASHTO SITE DISTANCE REQUIREMENTS FOR MOTORISTS.
- 10. DRIVEWAY REQUIREMENTS FOR THE LOCATION, WIDTHS AND OFFSETS FROM AN INTERSECTION TO ANY EXISTING DRIVEWAY OR PROPOSED DRIVEWAYS, SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PEARLAND ENGINEERING DESIGN CRITERIA MANUAL AND UNITED DEVELOPMENT CODE.
- 11. PROJECT BENCHMARK IS CITY OF PEARLAND GPS MONUMENT # 1, ELEVATION = 45.19', NVD 29 (1987 ADJUSTMENT).
- 12. PROJECT TBM # 1 IS THE TOP OF A STORM MANHOLE (NORTH SIDE) LOCATED APPROXIMATELY 18 FEET SOUTH OF AN EXISTING FIRE HYDRANT AND APPROXIMATELY 10 FEET NORTHWEST OF THE SOUTHWEST CORNER OF SUBJECT TRACT. ELEVATION = 43.15' NVD 29 (87 ADJ.). SURFACE COORDINATE IS N 13.71, 403.07, E 3,155,228.59' (SCALE FACTOR: 0.99997)
- 13. ACCESS RIGHTS TO PARKING AREAS AND DRIVEWAYS ARE HEREBY GRANTED TO ALL ADJOINING COMMERCIAL PROPERTIES.
- 14. THE SUBJECT TRACT DOES NOT LIE WITHIN A MUNICIPAL UTILITY DISTRICT (MUD).



2016051797 PLAT  
Total Pages: 1  
PP



ACREAGE TABLE

|       |            |
|-------|------------|
| LOT 1 | 0.380 ACRE |
| LOT 2 | 0.421 ACRE |

LEGEND

- B.C.C.O. BRAZORIA COUNTY CLERK'S OFFICE
- B.C.D.R. BRAZORIA COUNTY DEED RECORDS
- B.C.M.R. BRAZORIA COUNTY MAP RECORDS
- (C.M.) CONTROL MONUMENT
- FND FOUND
- H.L.&P. HOUSTON LIGHTING AND POWER
- R.O.W. RIGHT-OF-WAY
- I.R. IRON PIPE
- I.R. IRON ROD
- ☆ EXISTING STREETLIGHT

THE PURPOSE OF THIS AMENDING PLAT IS TO CREATE ONE LOT FROM TWO LOTS.

# AMENDING PLAT OF LOTS "A" AND "B", BLOCK 1 OF WHISPERING WINDS SUBDIVISION

A SUBDIVISION OF 2.101 ACRES LOCATED IN THE THOMAS J. GREEN SURVEY, ABSTRACT NO. 198, IN THE CITY OF PEARLAND, BRAZORIA COUNTY, TEXAS

1 BLOCK 1 LOT  
OCTOBER, 2016

2911 WESTMINISTER ROAD

OWNER:

GREENSPACE HOLDINGS, LLC  
1100 NASA PARKWAY, SUITE 685  
HOUSTON, TEXAS 77058  
PHONE: (832) 982-0600

PREPARED BY:

THE WILSON SURVEY GROUP  
PROFESSIONAL LAND SURVEYORS  
2006 E. BROADWAY PEARLAND, TEXAS  
(281) 485-3991 FAX (281) 485-3998  
CONTACT: CHRIS L. HENDRICK

CERTIFICATE OF SURVEYOR

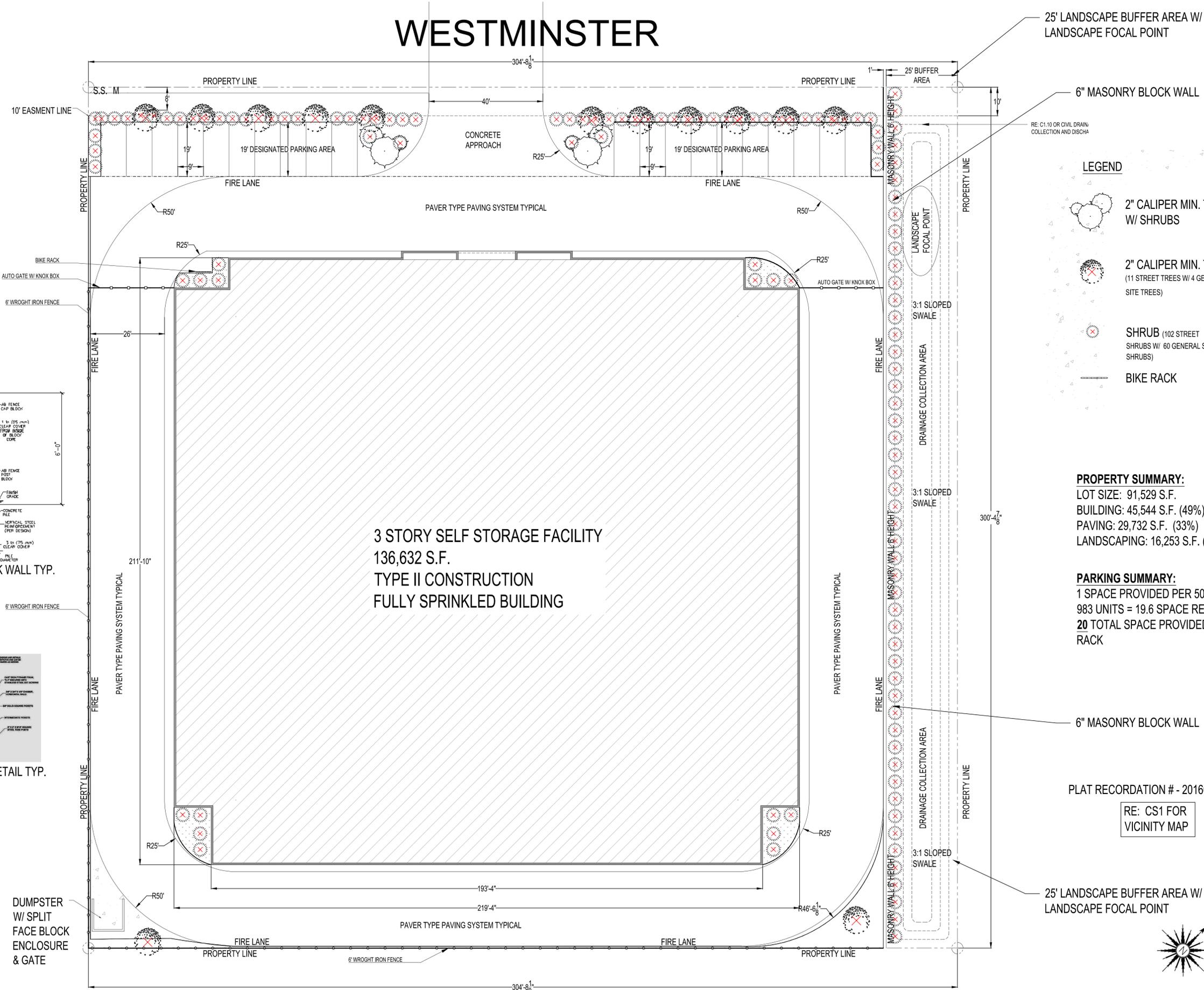
I, MICHAEL D. WILSON, AM REGISTERED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF SURVEYING AND HEREBY CERTIFY THAT THE ABOVE SUBDIVISION IS TRUE AND CORRECT; WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND; THAT ALL BOUNDARY CORNERS, ANGLE POINTS, POINTS OF CURVATURE AND OTHER POINTS OF REFERENCE HAVE BEEN MARKED WITH IRON (OR OTHER SUITABLE PERMANENT METAL PIPES OR RODS) HAVING AN OUTSIDE DIAMETER OF NOT LESS THAN FIVE-EIGHTH (5/8) INCH AND A LENGTH OF NOT LESS THAN TWO (2) FEET, UNLESS OTHERWISE NOTED.

[Signature]  
MICHAEL D. WILSON  
REGISTERED PROFESSIONAL  
LAND SURVEYOR NO. 4821



2016051797  
Brazoria County - Joyce Hudman, County Clerk  
10/20/2016 01:48 PM  
Total Pages: 1  
Fee: 121.00

# WESTMINSTER



- LEGEND**
- 2" CALIPER MIN. TREE W/ SHRUBS
  - 2" CALIPER MIN. TREE (11 STREET TREES W/ 4 GENERAL SITE TREES)
  - SHRUB (102 STREET SHRUBS W/ 60 GENERAL SITE SHRUBS)
  - BIKE RACK

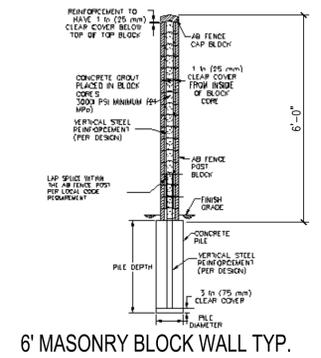
**PROPERTY SUMMARY:**  
 LOT SIZE: 91,529 S.F.  
 BUILDING: 45,544 S.F. (49%)  
 PAVING: 29,732 S.F. (33%)  
 LANDSCAPING: 16,253 S.F. (18%)

**PARKING SUMMARY:**  
 1 SPACE PROVIDED PER 50 UNITS  
 983 UNITS = 19.6 SPACE REQUIRED  
**20** TOTAL SPACE PROVIDED W/ BIKE RACK

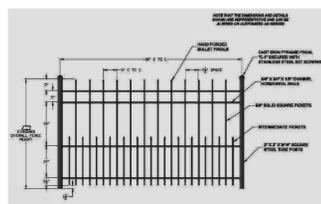
PLAT RECORDATION # - 2016051797

RE: CS1 FOR VICINITY MAP

25' LANDSCAPE BUFFER AREA W/ LANDSCAPE FOCAL POINT



6' MASONRY BLOCK WALL TYP.



6' WROUGHT IRON FENCE DETAIL TYP.



PROJECT TITLE  
**GREEN SPACE STORAGE FACILITY**  
 2911 WESTMINSTER  
 PEARLAND, TEXAS 77591

A PROJECT FOR:  
 TMS CONTRACTORS, LLC  
 713-256-3945  
 STEFAN KNIELING  
 PRESIDENT  
[SKNIELING@TMSCONTRACTORSLLC.COM](mailto:SKNIELING@TMSCONTRACTORSLLC.COM)



|          |                  |
|----------|------------------|
| 11-04-16 | DESIGN DOCUMENTS |
|          |                  |
|          |                  |
|          |                  |
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|          |                  |
|          |                  |
|          |                  |
|          |                  |
|          |                  |

PROJECT NO: 070116  
 DRAWN BY: MJM  
 CHECKED BY: SK  
MALONEY SERVICES L.L.C. 2016. THIS OFFICE ASSUMES NO LIABILITY FOR ERRORS OR OMISSIONS ON THESE PLANS. ALL INFORMATION MUST BE CONFIRMED PRIOR TO COMMENCEMENT OF CONSTRUCTION. IT IS THE OWNERS AND BUILDERS RESPONSIBILITY FOR FOLLOWING MATERIAL AND MANUFACTURERS INSTRUCTIONS, AND USING RECOGNIZED STANDARDS FOR EACH TRADE, AS WELL AS COMPLIANCE IN FULL WITH ALL GOVERNING CODE REQUIREMENTS FOR THE GEOGRAPHIC AREA IN WHICH THIS PROJECT IS TO BE CONSTRUCTED.

SHEET TITLE  
**SITE PLAN**

SHEET NUMBER  
**SP1.10**

**GENERAL NOTES**

- ALL WORK PERFORMED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES HAVING JURISDICTION.
- BEFORE PERFORMING ANY WORK OR ORDERING ANY MATERIALS, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS OF ANY EXISTING OR NEW WORK AND SHALL BE RESPONSIBLE FOR THEIR ACCURACY, ANY DIFFERENCES FOUND SHALL BE SUBMITTED TO THE ARCHITECT FOR CONSIDERATION BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL ALSO VERIFY THE LOCATION OF EXISTING UTILITIES PRIOR TO BEGINNING WORK.
- OWNER SHALL PAY FOR GENERAL BUILDING PERMIT, IMPACT FEES & UTILITY TAP FEES. G.C. SHALL PAY FOR REMAINING PERMITS & FEES.
- UTILITIES SHALL BE PROVIDED BY OWNER.
- CONTRACTOR SHALL INCLUDE ALL LABOR, MATERIALS, EQUIPMENT, FIXTURES, AND SERVICE NECESSARY FOR THE PROPER EXECUTION OF THE PLANS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACTS AND OMISSIONS OF ALL HIS EMPLOYEES AND SUBCONTRACTORS.
- CONTRACTOR SHALL SUPERVISE THE WORK AND COORDINATE ALL PORTIONS THEREOF.
- ALL MATERIALS AND EQUIPMENT INCORPORATED IN THE WORK SHALL BE NEW UNLESS OTHERWISE SPECIFIED AND ALL WORK SHALL BE OF GOOD QUALITY, FREE FROM FAULTS AND IN CONFORMANCE WITH THE PLANS.
- NOT USED.
- CONTRACTOR SHALL KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY HIS OPERATIONS. AT THE COMPLETION OF THE WORK HE SHALL PERFORM A FINAL CLEAN-UP INSIDE, CLEAN ALL GLASS SURFACES AND LEAVE THE WORK ROOM CLEAN.
- CONTRACTOR SHALL GUARANTEE FOR (1) ONE YEAR THAT ALL OF THE WORK UNDER THE CONTRACT IS FREE FROM FAULTY MATERIALS, WATER-TIGHT, AND LEAK PROOF IN EVERY PARTICULAR AND FREE FROM IMPROPER WORKMANSHIP.

- CONTRACTOR SHALL PROVIDE PROOF TO OWNER THAT ADEQUATE LIABILITY INSURANCE HAS BEEN OBTAINED.
- CONTRACTOR WILL BE HELD RESPONSIBLE FOR STUDYING DRAWINGS, TO HAVE VISITED THE SITE, AND TO HAVE SATISFIED HIMSELF REGARDING ALL EXISTING CONDITIONS UNDER WHICH HE WILL BE OBLIGED TO OPERATE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF EXISTING AND NEW WORK. ANY WORK DAMAGE FOR ANY REASON SHALL BE REPLACED AT NO COST TO THE OWNER.
- SUBSTITUTIONS, REVISIONS OR CHANGES MAY BE ALLOWED ONLY IF SUCH ITEMS ARE SUBMITTED TO THE OWNER IN A TIMELY MANNER IN WRITING AND SUBSEQUENTLY APPROVED BY THE ARCHITECT IN DESIGN AND PERFORMANCE. THE CONTRACTOR IS LIABLE FOR REPLACEMENT, REPAIR AND DELAYS CAUSED BY ANY UNAUTHORIZED SUBSTITUTION, AND COMPLETE SPECIFICATIONS AND DRAWINGS AS REQUIRED COMPARING ITEMS. THE OWNER RESERVES THE RIGHT TO REJECT FOR ANY REASON.
- NOTE USED.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- NOT USED.
- WHERE DISCREPANCIES EXIST IN DRAWINGS THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY AND IF HE FAILS TO DO IT WILL BE HIS RESPONSIBILITY TO CORRECT THE SITUATION REASONABLY AS PER THE OWNER DIRECTION ENLARGED SCALE DRAWINGS (DETAILS SHALL GOVERN OVER SMALLER SCALED DRAWINGS AND SPECIFICATIONS SHALL GOVERN ALL.
- NOT USED.

- SHOP DRAWINGS SHALL BE SUBMITTED TO THE OWNER FOR APPROVAL PRIOR TO FABRICATION OF ANY ITEM. FAILURE TO ADHERE TO THIS PROCEDURE SHALL PLACE FULL RESPONSIBILITY FOR ANY ERRORS DIRECTLY UPON THE CONTRACTOR.
- UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TO STUD FRAMING.
- THE SUBMISSION OF A BID OR PROPOSAL WILL BE CONSTRUED AS EVIDENCE THAT THE CONTRACTOR HAS FAMILIARIZED HIMSELF WITH THE PLANS AND EXISTING CONDITIONS OF THE BUILDING SITE. CLAIMS MADE SUBSEQUENT TO THE PROPOSAL FOR MATERIALS AND LABOR BECAUSE OF DIFFICULTIES ENCOUNTERED WILL NOT BE RECOGNIZED IF THEY COULD HAVE BEEN FORESEEN HAD PROPER EXAMINATION BEEN MADE.
- PRIOR TO STARTING CONSTRUCTION THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION OF ANY ITEM SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED ALL PLANS AND ANY OTHER APPROVALS FROM GOVERNMENTAL AGENCIES OR OTHER REGULATORY AUTHORITIES HAVING JURISDICTION OVER THE PROJECT. FAILURE OF THE CONTRACTOR TO FOLLOW THIS PROCEDURE SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATION OF THE WORK MANDATED BY ANY REGULATORY AUTHORITY.
- ALL GYPSUM BOARD TO BE 5/8" TYPE "X" UNLESS NOTED OTHERWISE. IN DAMP AREAS GREEN GYPSUM SHALL BE USED IN LIEU OF GYP. BOARD. IN WET AREAS DUR-ROCK OR CONC./MESH BD. SHALL BE USED.
- ALL WORK ON THIS PROJECT SHALL BE IN CONFORMANCE WITH THE FOLLOWING:
  - STATE AND LOCAL BUILDING CODE LATEST EDITION
  - NATIONAL FIRE CODES: BY NFPA
  - NATIONAL ELECTRICAL CODE (LATEST EDITION)
  - NATIONAL PLUMBING CODE
  - NATIONAL SANITATION FOUNDATIONS (N.S.F.)
  - OCCUPATIONAL SAFETY AND HEALTH STANDARDS - 1910, CHAPTER XVII OF TITLE 20, CODE OF FEDERAL REGULATIONS.
  - REGULATIONS BY UTILITY COMPANIES SUPPLYING UTILITIES TO THE PROJECT, BOTH TEMPORARILY AND PERMANENTLY.
  - COMPRESSED GAS ASSOCIATION (C.G.A.)
  - FIRE RESISTANCE RATINGS: BY AMERICAN INSURANCE ASSOCIATION.

- CONTRACTOR TO BALANCE SYSTEM FOR ADEQUATE AIR DISTRIBUTION WITHIN ALL CONDITIONED AREAS TO THE OWNER'S SATISFACTION. (UNLESS CERTIFIED TEST & BALANCE REPORT IS REQUIRED BY LOCAL AUTHORITY.)
- CONTRACTOR SHALL SUBMIT ALL SPECIALTY FINISHES SAMPLES TO THE OWNER FOR APPROVAL PRIOR TO FINAL FINISHING. IF FAILURE TO SUBMIT SAMPLES FOR APPROVAL THE CONTRACTOR WILL BE RESPONSIBLE FOR REFINISHING TO THE OWNER'S SATISFACTION.



Drawings Prepared By:  
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832.257.4619  
maloneyservices@yahoo.com

PROJECT TITLE  
**GREEN SPACE STORAGE FACILITY**  
PEARLAND, TEXAS 77591

A PROJECT FOR:

**TMS CONTRACTORS, LLC**  
713-256-3945  
STEFAN KNIELING  
PRESIDENT  
SKNIELING@TMSCONTRACTORSLLC.COM

**TMS CONTRACTORS L.L.C.**

|          |                  |
|----------|------------------|
| 10-17-16 | DESIGN DOCUMENTS |
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|--------------------|
| PROJECT NO: 070116 |
| DRAWN BY: MJM      |
| CHECKED BY: SK     |

MALONEY SERVICES L.L.C. 2016. THIS OFFICE ASSUMES NO LIABILITY FOR ERRORS OR OMISSIONS ON THESE PLANS. ALL INFORMATION MUST BE CONFIRMED PRIOR TO COMMENCEMENT OF CONSTRUCTION. IT IS THE OWNERS AND BUILDERS RESPONSIBILITY FOR FOLLOWING MATERIAL AND MANUFACTURERS INSTRUCTIONS, AND USING RECOGNIZED STANDARDS FOR EACH TRADE, AS WELL AS COMPLIANCE IN FULL WITH ALL GOVERNING CODE REQUIREMENTS FOR THE GEOGRAPHIC AREA IN WHICH THIS PROJECT IS TO BE CONSTRUCTED.

**SYMBOLS & ABBREVIATIONS**

SHEET NUMBER

**CS2**

**MATERIAL DESIGNATIONS**

- EARTH
- POROUS FILL (STONE OR GRAVEL, SUB BASE, ETC.)
- ROCK
- LIGHTWEIGHT CONCRETE (STRUCTURAL, INSULATING FILL)
- STRUCTURAL CONCRETE (CAST IN PLACE, OR PRECAST)
- BRICK (COMMON OR FACE)
- CONCRETE MASONRY UNITS (CMU)
- CUT STONE, CAST STONE
- MARBLE
- SLATE, BLUESTONE, SOAPSTONE, FLAGGING
- STRUCTURAL CLAY TILE
- METAL (LARGE SCALE)
- METAL (SMALL SCALE STRUCTURAL & SHEET)
- PLYWOOD (LARGE SCALE)
- WOOD FINISH
- WOOD ROUGH (CONTINUOUS)
- WOOD ROUGH (BLOCKING)
- INSULATION (LOOSE OR BAT)
- INSULATION (RIGID)
- GLASS (LARGE SCALE)
- ACOUSTICAL TILE
- CERAMIC TILE (LARGE SCALE)
- GYPSUM WALL BOARD (LARGE SCALE)
- GYPSUM DRYWALL SYSTEM PARTITION OR WALL
- PLASTER, SAND, CEMENT, GROUT
- TERRAZZO
- GLASS BLOCK

**GRAPHIC SYMBOLS**

- ROOM/SPACE NUMBER
- DOOR NUMBER (IF MORE THAN ONE DOOR PER ROOM SUBLETTERS ARE USED)
- WINDOW NUMBER
- COLOR OR FINISH CODE (FOR COLOR SCHEDULE, IF USED)
- EXTERIOR SECTION REFERENCE DRAWING NUMBER
- EXTERIOR ELEVATION REFERENCE DRAWING NUMBER
- INTERIOR SECTION REFERENCE DRAWING NUMBER
- INTERIOR ELEVATION REFERENCE DRAWING NUMBER
- SECTION LINES AND SECTION REFERENCES
  - INDICATES SECTION NUMBER
  - INDICATES DRAWING SHEET ON WHICH DETAIL IS SHOWN
- DETAIL REFERENCES
  - INDICATES DETAIL NUMBER
  - INDICATES DRAWING SHEET ON WHICH DETAIL IS SHOWN
- COLUMN REFERENCE GRIDS
- STAIR DIRECTION SYMBOL
- DIMENSION SYMBOL
  - DIMENSION TO DIMENSION LINE - DIMENSION TO FACE OF FRAMING UNLESS SHOWN OTHERWISE ON LARGE SCALE DRAWING
  - DIMENSION TO COLUMN LINE

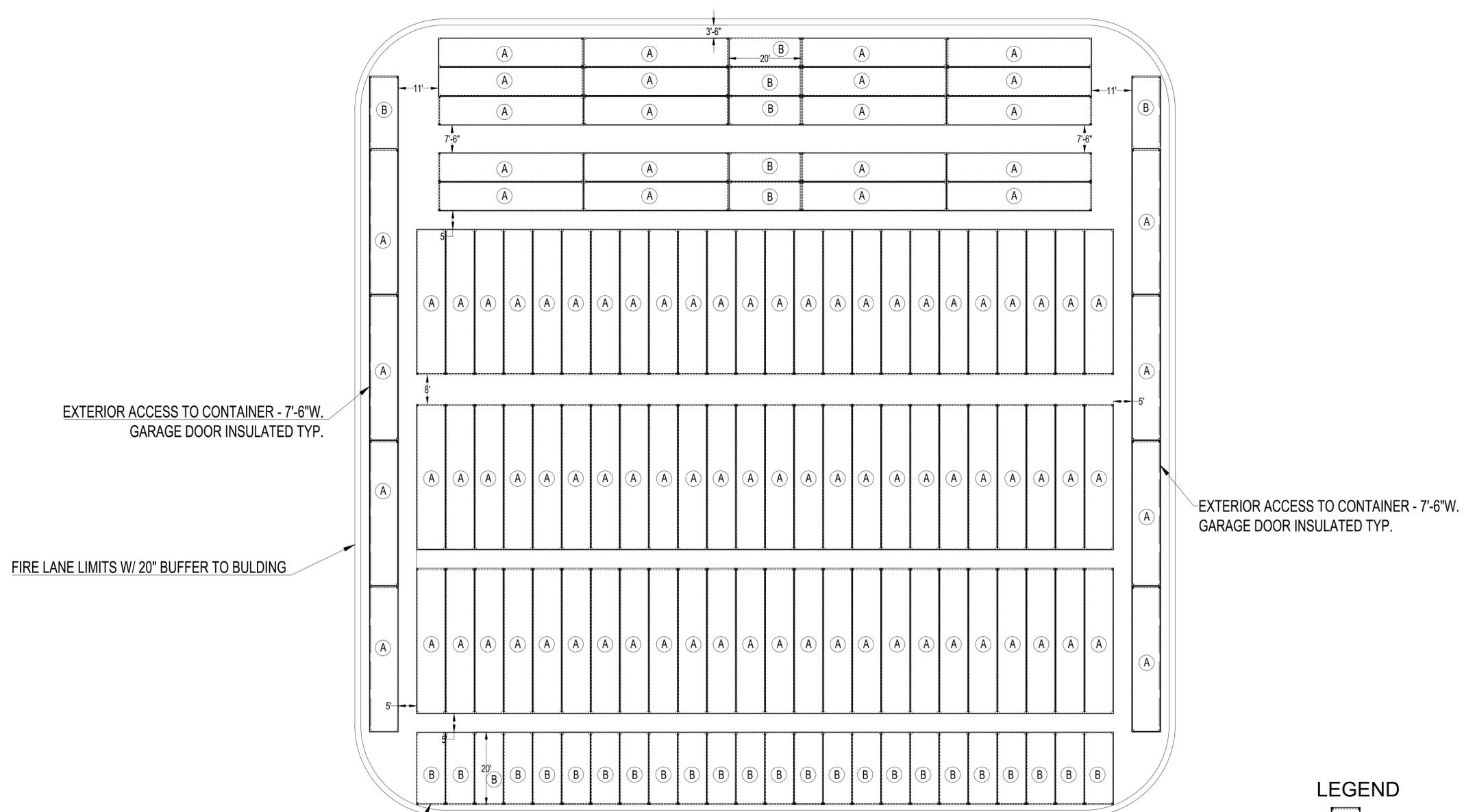
**GRAPHIC SYMBOLS**

- CENTER LINES, FLOOR LINES IN EXTERIOR ELEVATIONS, PROJECTED LINES
- PROPERTY LINES, BOUNDARY LINES
- CORNER POINT
- NEW OR REQUIRED POINT ELEVATION
- GRADING PLAN
- ARCHITECTURAL
- EXISTING POINT ELEVATION
- EXISTING CONTOURS
- NEW CONTOURS
- TEST BORING
- REVISION TO DRAWING

**STANDARD ABBREVIATIONS**

|                                   |                                |                            |                         |
|-----------------------------------|--------------------------------|----------------------------|-------------------------|
| ABV ABOVE                         | DEL DEAD LOAD                  | JT JOINT                   | ROW RIGHT OF WAY        |
| AFT ABOVE FINISHED FLOOR          | DEM DEMOLISH, DEMOLITION       | JF JOINT FILLER            | R RISER                 |
| ACC ACCESS                        | DMT DEMOUNTABLE                | K KICKPLATE                | R&S ROD AND SHELF       |
| ACFL ACCESS FLOOR                 | DTL DETAIL                     | KIT KITCHEN                | RD ROOF DRAIN           |
| AP ACCESS PANEL                   | DIA DIAMETER                   | LAB LABORATORY             | RH ROOF HATCH           |
| AC ACOUSTICAL                     | DM DIMENSION                   | LAD LADDER                 | RFG ROOFING             |
| ACPL ACOUSTICAL PLASTER           | DIS DISPENSER                  | LAG LAG BOLT               | RM ROOM                 |
| ACR ACRYLIC PLASTIC               | DOV DOVETAIL ANCHOR            | LAM LAMINATE, (ED)         | ROU ROUGH OPENING       |
| ADJ ADJUNCT                       | DTA DOVETAIL ANCHOR SLOT       | LGL LAMINATED GLASS        | RDK ROWLOCK             |
| ADJUST ADJUSTABLE                 | DN DOWN                        | LAV LAVATORY               | RB RUBBER BASE          |
| AGG AGGREGATE                     | DN DOWN                        | LW LAYOUT                  | RBT RUBBER TIE          |
| AIR AIR CONDITIONING              | DRN DRAINOUT                   | LH LEFT HAND               | RBL RUBBLE STONE        |
| ALT ALTERNATE                     | DRW DRAWER                     | LT LENGTH                  | SCH SCHEDULE            |
| AL ALUMINUM                       | DWG DRAWING                    | LW LIGHTWEIGHT             | SNT SCHEDULE            |
| ANC ANCHOR, ANCHORAGE             | EA EACH                        | LUC LIGHT                  | SCUP SCUPPER            |
| ANB ANCHOR BOLT                   | EAC EACH FACE                  | LUE LIFE LOAD              | SEALIT SEALANT          |
| ANOD ANODIZED                     | EW EACH WAY                    | LUD LOOSE LAD              | SEC SECTION             |
| ARCH ARCHITECT, ARCHITECTURAL     | ESMT EASEMENT                  | LVR LOOSE LAD              | SYVD SERVICE YARD       |
| ASPH ASPHALT                      | EAS EASING                     | LWC LOCATE                 | SKK SERVICE SINK        |
| AT ASPHALT TILE                   | EL ELEVATION (VERTICAL HEIGHT) | LWD LOOSE LAD              | SKS SERVICE SINK        |
| AUTO AUTOMATIC                    | ELEV ELEVATOR                  | LWT LOW POINT              | SHT SHUTTER, (S)        |
| AWN AWNING                        | EMER EMERGENCY                 | MAN MANHOLE                | SHU SHUTTER, (S)        |
| BL BASE LINE                      | ENC ENCLOSE, (URE)             | MAS MASONRY                | SIB SIDING              |
| BM BENCH MARK                     | EQU EQUAL                      | MBS MARBLE                 | SIM SIMILAR             |
| BEL BELOW                         | EQM EQUIPMENT                  | MECH MECHANIC, (AL)        | SKL SKYLIGHT            |
| BW BENCH MARK                     | ESC ESCALATOR                  | MED MEDIUM                 | SLS SLOPE               |
| BET BETWEEN                       | EST ESTIMATE                   | MDO MEDIUM DENSITY OVERLAY | SLO SLOPE               |
| BVL BEVELED                       | EXH EXHAUST                    | MDB MEDIUM DENSITY OVERLAY | SPK SPEAKER             |
| BYD BEYOND                        | EXIST EXISTING                 | MEM MEMBRANE               | SPEC SPECIFICATION      |
| BLK BLOCK                         | EXP EXPANSION BOLT             | MIN MINIMUM                | EXLASH EXLASH           |
| BLDG BUILDING                     | EXT EXTERIOR JOINT             | MIR MIRROR GLASS (FRAMED)  | S SOUTH                 |
| BD BOARD                          | EXP EXPOSED FACE OF CONCRETE   | MIR MIRROR GLASS (FRAMED)  | SPL SPACE, (R)          |
| BS BOTH SIDES                     | FACE OF FRESH CONCRETE         | MIR MIRROR GLASS (FRAMED)  | SPR SPRINKLER GLASS     |
| BOT BOTTOM                        | FOM FACE OF MASONRY            | MIR MIRROR GLASS (FRAMED)  | SPK SPEAKER             |
| BRKT BRACKET                      | FOS FACE OF STUDS              | MIR MIRROR GLASS (FRAMED)  | SPEC SPECIFICATION      |
| BRS BRASS                         | FAS FASTEN, FASTENER           | MIR MIRROR GLASS (FRAMED)  | STAIN STAIN             |
| BRK BRICK                         | FN FENCE                       | MIR MIRROR GLASS (FRAMED)  | STL STAINED GLASS       |
| BRZ BRONZE                        | FIB FIBERBOARD                 | MIR MIRROR GLASS (FRAMED)  | STD STANDARD            |
| BLDG BUILDING                     | FIB FIBERBOARD                 | MIR MIRROR GLASS (FRAMED)  | STA STATION             |
| BUL BUILT UP ROOFING              | FIN FINISH, FINISH             | MIR MIRROR GLASS (FRAMED)  | STO STORAGE             |
| BULG BULLET RESISTANT GLASS       | FIN FINISHED FLOOR ELEVATION   | MIR MIRROR GLASS (FRAMED)  | STR STRUCTURE           |
| BO BY OWNER                       | FIN FINISHED FLOOR LINE        | MIR MIRROR GLASS (FRAMED)  | STR STRUCTURE           |
| CAB CABINET                       | FA FIRE ALARM                  | MIR MIRROR GLASS (FRAMED)  | STC STAINLESS STEEL     |
| CAN CANVAS                        | FIRE FIRE EXTINGUISHER         | MIR MIRROR GLASS (FRAMED)  | STN STAIN               |
| CARRT CARRIET                     | FIRE FIRE EXTINGUISHER CABINET | MIR MIRROR GLASS (FRAMED)  | STG STAINLESS STEEL     |
| CSMT CASEMENT                     | FIS FIRE HOSE STATION          | MIR MIRROR GLASS (FRAMED)  | STL STAINED GLASS       |
| CI CAST IRON                      | FP FIRE-PROOF                  | MIR MIRROR GLASS (FRAMED)  | STD STANDARD            |
| CB CAST STONE                     | FR FIRE-RETARDANT              | MIR MIRROR GLASS (FRAMED)  | STO STORAGE             |
| CB CATCH BASIN                    | FXTX FIXTURE                   | MIR MIRROR GLASS (FRAMED)  | STR STRUCTURE           |
| CLG CEILING                       | FLG FLASHING                   | MIR MIRROR GLASS (FRAMED)  | STU STRUCTURE           |
| CHT CEILING HEIGHT                | FLX FLEXIBLE                   | MIR MIRROR GLASS (FRAMED)  | SUB SUBFLOOR            |
| CM CEMENT                         | FLR FLOOR GLASS                | MIR MIRROR GLASS (FRAMED)  | SUS SUSPENDED           |
| CM CENTIMETER (S)                 | FLR FLOOR (ING)                | MIR MIRROR GLASS (FRAMED)  | SYD SIDE YARD           |
| CCR CERAMIC                       | FD FLOOR DRAIN                 | MIR MIRROR GLASS (FRAMED)  | SYM SYMMETRY, (ETRICAL) |
| CT CERAMIC TILE                   | FL FLOOR LINE                  | MIR MIRROR GLASS (FRAMED)  | SYN SYNTHETIC           |
| CHALB CHAMBER                     | FLR FLOORING                   | MIR MIRROR GLASS (FRAMED)  | STB STUB                |
| CHAM CHAMBER                      | FLR FLOORING                   | MIR MIRROR GLASS (FRAMED)  | STC STAINLESS STEEL     |
| CHM CHIMNEY                       | FLR FLOORING                   | MIR MIRROR GLASS (FRAMED)  | STL STAINED GLASS       |
| CR CHROMIUM                       | FLR FLOORING                   | MIR MIRROR GLASS (FRAMED)  | STD STANDARD            |
| CIR CIRCLE                        | FLR FLOORING                   | MIR MIRROR GLASS (FRAMED)  | STG STAINLESS STEEL     |
| CIRC CIRCUMFERENCE                | FLR FLOORING                   | MIR MIRROR GLASS (FRAMED)  | STO STORAGE             |
| CLR CLEAR, CLEARANCE              | FLR FLOORING                   | MIR MIRROR GLASS (FRAMED)  | STR STRUCTURE           |
| CLOS CLOSURE                      | FLR FLOORING                   | MIR MIRROR GLASS (FRAMED)  | STU STRUCTURE           |
| COL COATED GLASS                  | FLR FLOORING                   | MIR MIRROR GLASS (FRAMED)  | STV STRUCTURE           |
| COL COLUMN                        | FLR FLOORING                   | MIR MIRROR GLASS (FRAMED)  | SYD SIDE YARD           |
| COMB COMBINATION                  | FLR FLOORING                   | MIR MIRROR GLASS (FRAMED)  | SYM SYMMETRY, (ETRICAL) |
| COM COMMON                        | FLR FLOORING                   | MIR MIRROR GLASS (FRAMED)  | SYN SYNTHETIC           |
| COMP COMPARTMENT                  | FLR FLOORING                   | MIR MIRROR GLASS (FRAMED)  | STB STUB                |
| COMP COMPOSITION, COMPOSITE       | FLR FLOORING                   | MIR MIRROR GLASS (FRAMED)  | STC STAINLESS STEEL     |
| COMP COMPRESS. (ED), (ONS), (BLE) | FLR FLOORING                   | MIR MIRROR GLASS (FRAMED)  | STL STAINED GLASS       |
| CONC CONCRETE                     | FLR FLOORING                   | MIR MIRROR GLASS (FRAMED)  | STD STANDARD            |
| CONC CONCRETE MASONRY UNIT        | FLR FLOORING                   | MIR MIRROR GLASS (FRAMED)  | STO STORAGE             |
| CONN CONNECTION                   | FLR FLOORING                   | MIR MIRROR GLASS (FRAMED)  | STR STRUCTURE           |
| CONST CONSTRUCTION                | FLR FLOORING                   | MIR MIRROR GLASS (FRAMED)  | STU STRUCTURE           |
| CONT CONTINUE, CONTINUOUS         | FLR FLOORING                   | MIR MIRROR GLASS (FRAMED)  | STV STRUCTURE           |
| CONTR CONTRACT, CONTRACTOR        | FLR FLOORING                   | MIR MIRROR GLASS (FRAMED)  | SYD SIDE YARD           |
| CONTR CONTROL JOINT               | FLR FLOORING                   | MIR MIRROR GLASS (FRAMED)  | SYM SYMMETRY, (ETRICAL) |
| CPR COPPER                        | FLR FLOORING                   | MIR MIRROR GLASS (FRAMED)  | SYN SYNTHETIC           |
| CS CORNER GUARD                   | FLR FLOORING                   | MIR MIRROR GLASS (FRAMED)  | STB STUB                |
| CORR CORRUGATED                   | FLR FLOORING                   | MIR MIRROR GLASS (FRAMED)  | STC STAINLESS STEEL     |
| CTR COUNTER                       | FLR FLOORING                   | MIR MIRROR GLASS (FRAMED)  | STL STAINED GLASS       |
| CS COUNTERSINK                    | FLR FLOORING                   | MIR MIRROR GLASS (FRAMED)  | STD STANDARD            |
| CRS COURSE                        | FLR FLOORING                   | MIR MIRROR GLASS (FRAMED)  | STG STAINLESS STEEL     |
| CFT CURB FOOT                     | FLR FLOORING                   | MIR MIRROR GLASS (FRAMED)  | STO STORAGE             |
| CYD CURB YARD                     | FLR FLOORING                   | MIR MIRROR GLASS (FRAMED)  | STR STRUCTURE           |
| DAMP DAMPER                       | FLR FLOORING                   | MIR MIRROR GLASS (FRAMED)  | STU STRUCTURE           |
| DP DAMPPROOFING                   | FLR FLOORING                   | MIR MIRROR GLASS (FRAMED)  | STV STRUCTURE           |
| DP DAMPPROOFING                   | FLR FLOORING                   | MIR MIRROR GLASS (FRAMED)  | SYD SIDE YARD           |
| DP DAMPPROOFING                   | FLR FLOORING                   | MIR MIRROR GLASS (FRAMED)  | SYM SYMMETRY, (ETRICAL) |
| DP DAMPPROOFING                   | FLR FLOORING                   | MIR MIRROR GLASS (FRAMED)  | SYN SYNTHETIC           |
| DP DAMPPROOFING                   | FLR FLOORING                   | MIR MIRROR GLASS (FRAMED)  | STB STUB                |
| DP DAMPPROOFING                   | FLR FLOORING                   | MIR MIRROR GLASS (FRAMED)  | STC STAINLESS STEEL     |
| DP DAMPPROOFING                   | FLR FLOORING                   | MIR MIRROR GLASS (FRAMED)  | STL STAINED GLASS       |
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| DP DAMPPROOFING                   | FLR FLOORING                   | MIR MIRROR GLASS (FRAMED)  | STG STAINLESS STEEL     |
| DP DAMPPROOFING                   | FLR FLOORING                   | MIR MIRROR GLASS (FRAMED)  | STO STORAGE             |
| DP DAMPPROOFING                   | FLR FLOORING                   | MIR MIRROR GLASS (FRAMED)  | STR STRUCTURE           |
| DP DAMPPROOFING                   | FLR FLOORING                   | MIR MIRROR GLASS (FRAMED)  | STU STRUCTURE           |
| DP DAMPPROOFING                   | FLR FLOORING                   | MIR MIRROR GLASS (FRAMED)  | STV STRUCTURE           |
| DP DAMPPROOFING                   | FLR FLOORING                   | MIR MIRROR GLASS (FRAMED)  | SYD SIDE YARD           |
| DP DAMPPROOFING                   | FLR FLOORING                   | MIR MIRROR GLASS (FRAMED)  | SYM SYMMETRY, (ETRICAL) |
| DP DAMPPROOFING                   | FLR FLOORING                   | MIR MIRROR GLASS (FRAMED)  | SYN SYNTHETIC           |
| DP DAMPPROOFING                   | FLR FLOORING                   | MIR MIRROR GLASS (FRAMED)  | STB STUB                |
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| DP DAMPPROOFING                   | FLR FLOORING                   | MIR MIRROR GLASS (FRAMED)  | STR STRUCTURE           |
| DP DAMPPROOFING                   | FLR FLOORING                   | MIR MIRROR GLASS (FRAMED)  | STU STRUCTURE           |
| DP DAMPPROOFING                   | FLR FLOORING                   | MIR MIRROR GLASS (FRAMED)  | STV STRUCTURE           |
| DP DAMPPROOFING                   | FLR FLOORING                   | MIR MIRROR GLASS (FRAMED)  | SYD SIDE YARD           |
| DP DAMPPROOFING                   | FLR FLOORING                   | MIR MIRROR GLASS (FRAMED)  | SYM SYMMETRY, (ETRICAL) |
| DP DAMPPROOFING                   | FLR FLOORING                   | MIR MIRROR GLASS (FRAMED)  | SYN SYNTHETIC           |
| DP DAMPPROOFING                   | FLR FLOORING                   | MIR MIRROR GLASS (FRAMED)  | STB STUB                |
| DP DAMPPROOFING                   | FLR FLOORING                   | MIR MIRROR GLASS (FRAMED)  | STC STAINLESS STEEL     |
| DP DAMPPROOFING                   | FLR FLOORING                   | MIR MIRROR GLASS (FRAMED)  | STL STAINED GLASS       |
| DP DAMPPROOFING                   | FLR FLOORING                   | MIR MIRROR GLASS (FRAMED)  | STD STANDARD            |
| DP DAMPPROOFING                   | FLR FLOORING                   | MIR MIRROR GLASS (FRAMED)  | STG STAINLESS STEEL     |
| DP DAMPPROOFING                   | FLR FLOORING                   | MIR MIRROR GLASS (FRAMED)  | STO STORAGE             |
| DP DAMPPROOFING                   | FLR FLOORING                   | MIR MIRROR GLASS (FRAMED)  | STR STRUCTURE           |
| DP DAMPPROOFING                   | FLR FLOORING                   | MIR MIRROR GLASS (FRAMED)  | STU STRUCTURE           |
| DP DAMPPROOFING                   | FLR FLOORING                   | MIR MIRROR GLASS (FRAMED)  | STV STRUCTURE           |
| DP DAMPPROOFING                   | FLR FLOORING                   | MIR MIRROR GLASS (FRAMED)  | SYD SIDE YARD           |
| DP DAMPPROOFING                   | FLR FLOORING                   | MIR MIRROR GLASS (FRAMED)  | SYM SYMMETRY, (ETRICAL) |
| DP DAMPPROOFING                   | FLR FLOORING                   | MIR MIRROR GLASS (FRAMED)  | SYN SYNTHETIC           |
| DP DAMPPROOFING                   | FLR FLOORING                   |                            |                         |





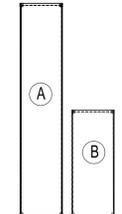
EXTERIOR ACCESS TO CONTAINER - 7'-6"W.  
 GARAGE DOOR INSULATED TYP.

FIRE LANE LIMITS W/ 20" BUFFER TO BUILDING

EXTERIOR ACCESS TO CONTAINER - 7'-6"W.  
 GARAGE DOOR INSULATED TYP.

EXTERIOR ACCESS TO CONTAINER - 7'-6"W.  
 GARAGE DOOR INSULATED TYP.

**LEGEND**



A = 40' LENGTH X 8' WIDTH X 9'-6" HEIGHT  
 B = 20' LENGTH X 8' WIDTH X 9'-6" HEIGHT

PROJECT TITLE  
**GREEN SPACE STORAGE FACILITY**  
 PEARLAND, TEXAS 77591

A PROJECT FOR:  
 TMS CONTRACTORS, LLC  
 713-256-3945  
 STEFAN KNIELING  
 PRESIDENT  
[SKNIELING@TMSCONTRACTORSLLC.COM](mailto:SKNIELING@TMSCONTRACTORSLLC.COM)

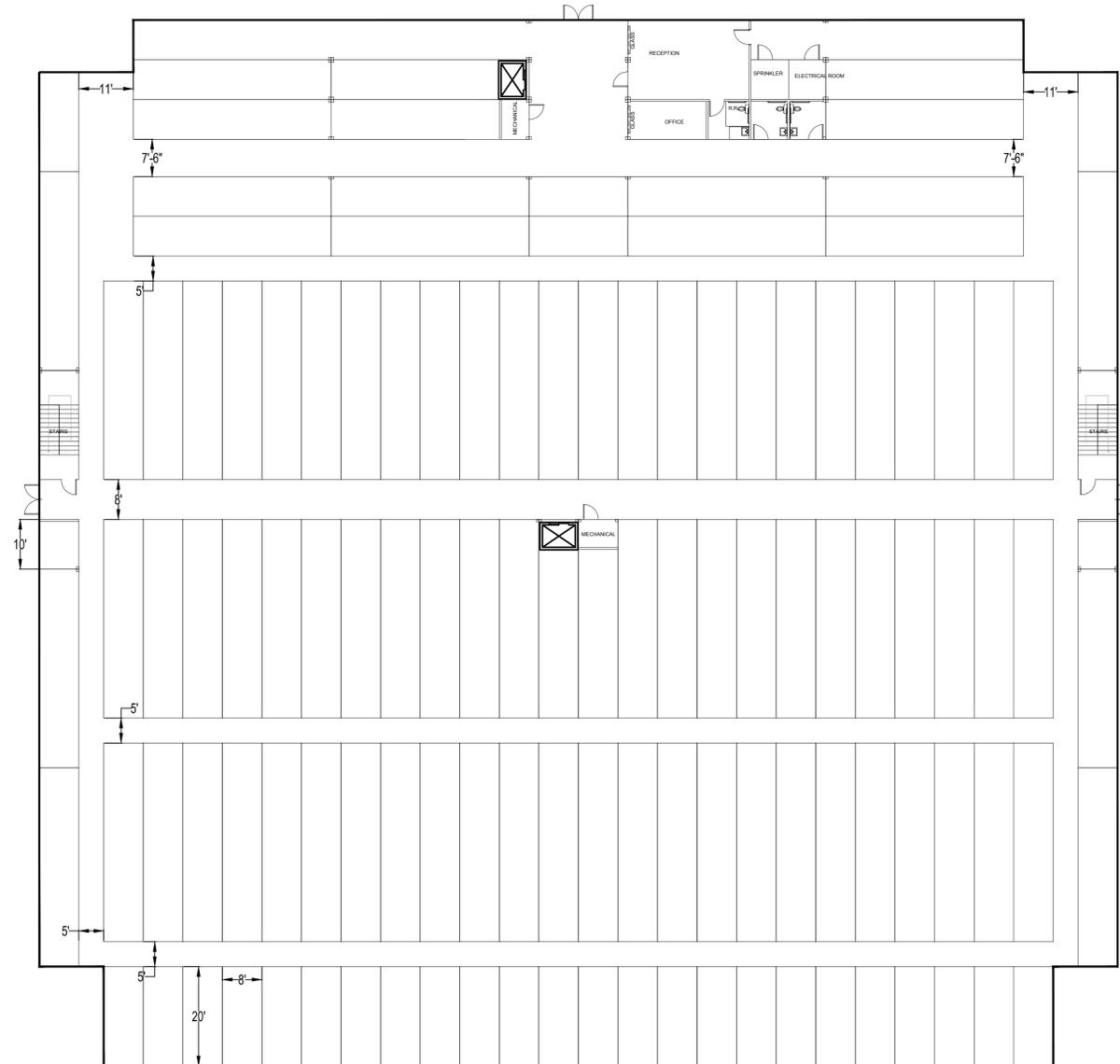


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PROJECT NO: 070116  
 DRAWN BY: MJM  
 CHECKED BY: SK  
MALONEY SERVICES L.L.C. 2016. THIS OFFICE ASSUMES NO LIABILITY FOR ERRORS OR OMISSIONS ON THESE PLANS. ALL INFORMATION MUST BE CONFIRMED PRIOR TO COMMENCEMENT OF CONSTRUCTION. IT IS THE OWNERS AND BUILDERS RESPONSIBILITY FOR FOLLOWING MATERIAL AND MANUFACTURERS INSTRUCTIONS, AND USING RECOGNIZED STANDARDS FOR EACH TRADE, AS WELL AS COMPLIANCE IN FULL WITH ALL GOVERNING CODE REQUIREMENTS FOR THE GEOGRAPHIC AREA IN WHICH THIS PROJECT IS TO BE CONSTRUCTED.

SHEET TITLE  
**CONTAINER LAYOUT**

SHEET NUMBER  
**A1.10**



PROJECT TITLE

**GREEN SPACE STORAGE  
 FACILITY  
 PEARLAND, TEXAS 77591**

A PROJECT FOR:  
 TMS CONTRACTORS, LLC  
 713-256-3945  
 STEFAN KNIELING  
 PRESIDENT  
[SKNIELING@TMSCONTRACTORSLLC.COM](mailto:SKNIELING@TMSCONTRACTORSLLC.COM)



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PROJECT NO: 070116  
 DRAWN BY: MJM  
 CHECKED BY : SK

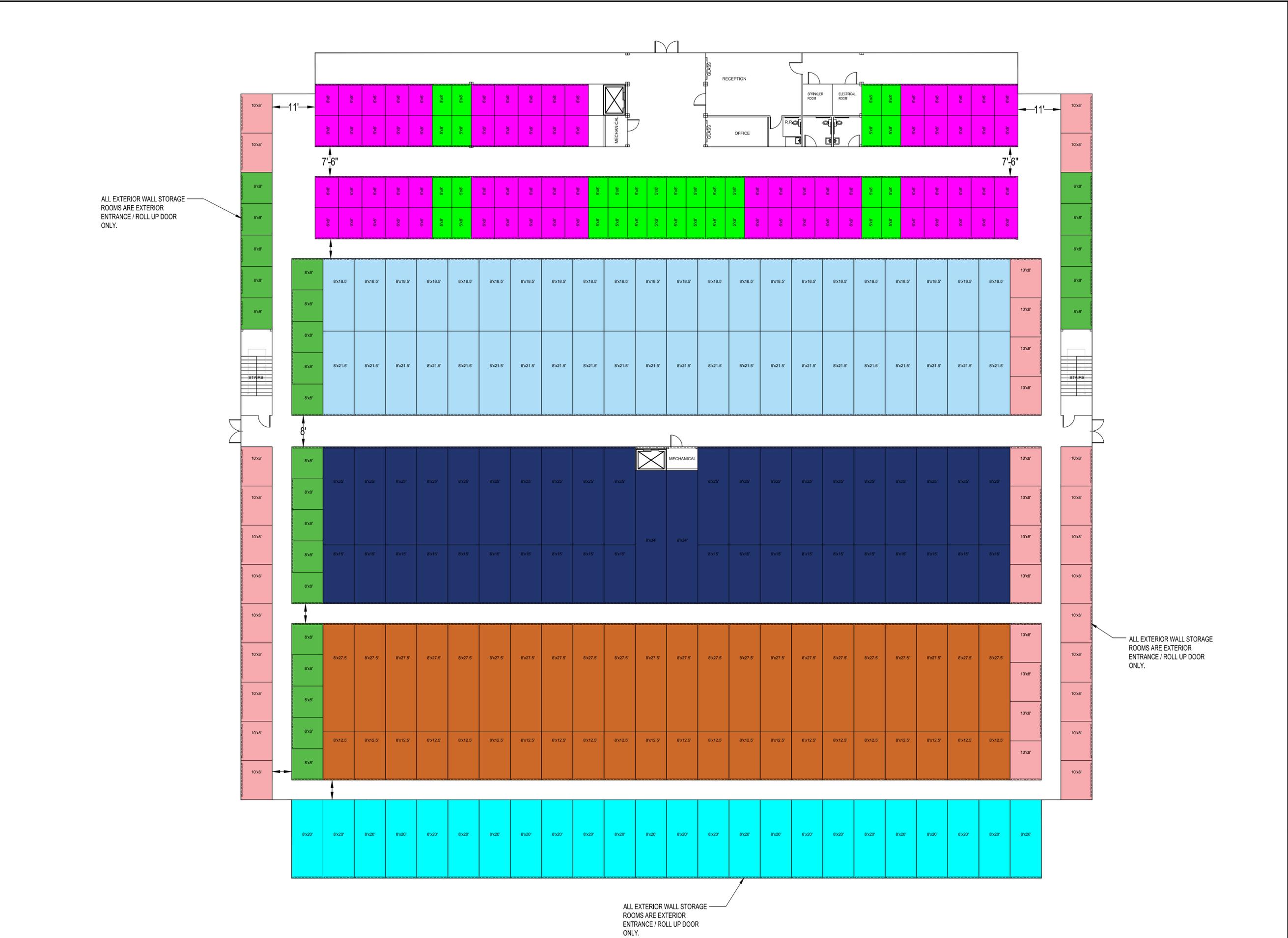
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SHEET TITLE

**FIRST FLOOR -  
 FLOOR PLAN**

SHEET NUMBER

**A1.20**



Drawings Prepared By:  
Maloney Services  
832.257.4619  
maloneyservices@yahoo.com

PROJECT TITLE  
**GREEN SPACE STORAGE FACILITY**  
PEARLAND, TEXAS 77591

A PROJECT FOR:  
TMS CONTRACTORS, LLC  
713-256-3945  
STEFAN KNIELING  
PRESIDENT  
[SKNIELING@TMSCONTRACTORSLLC.COM](mailto:SKNIELING@TMSCONTRACTORSLLC.COM)

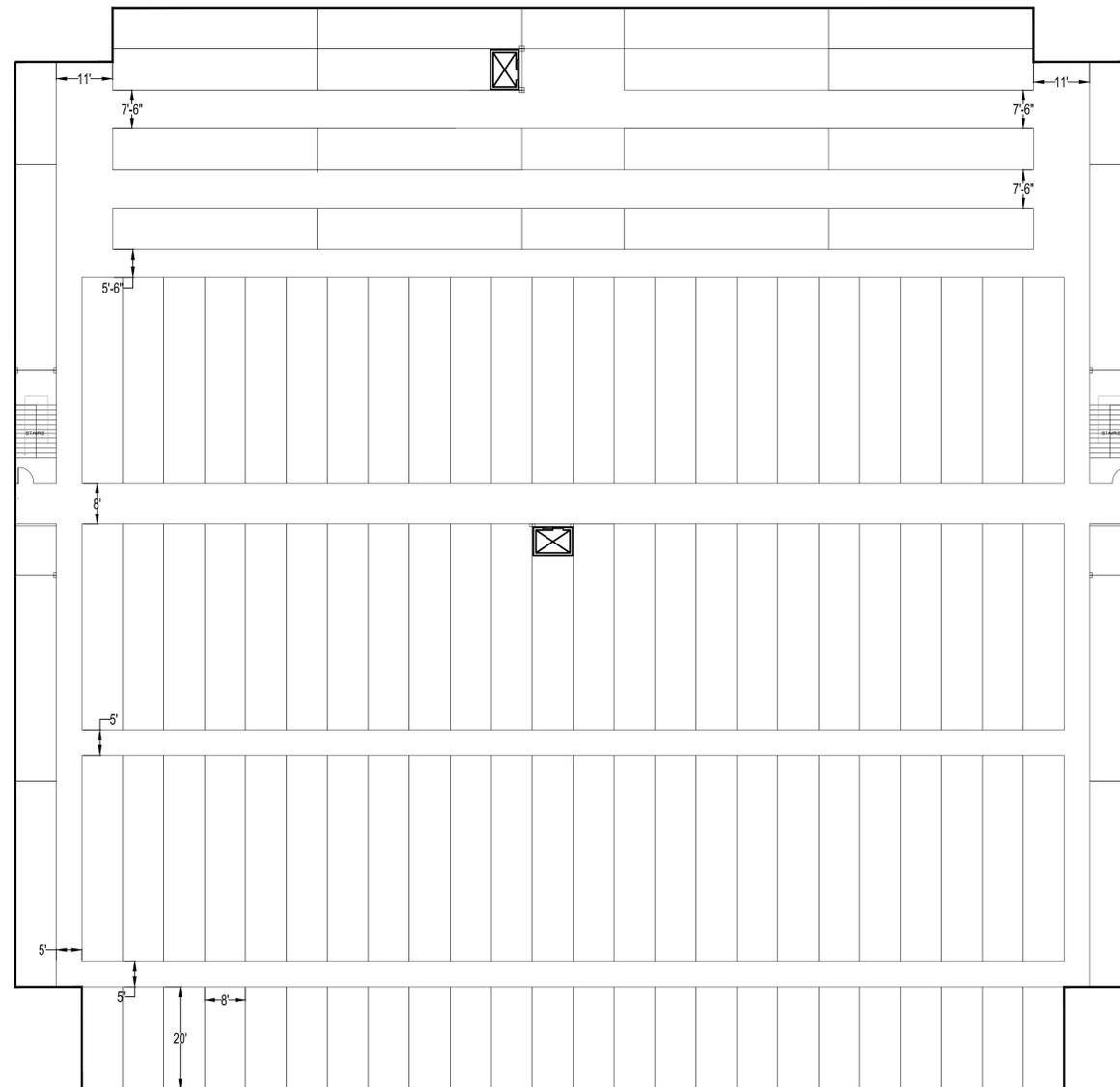


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PROJECT NO: 070116  
DRAWN BY: MJM  
CHECKED BY: SK  
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SHEET TITLE  
**FIRST FLOOR - SPACE PLAN**

SHEET NUMBER  
**A1.25**



PROJECT TITLE

**GREEN SPACE STORAGE  
 FACILITY  
 PEARLAND, TEXAS 77591**

A PROJECT FOR:  
 TMS CONTRACTORS, LLC  
 713-256-3945  
 STEFAN KNIELING  
 PRESIDENT  
[SKNIELING@TMSCONTRACTORSLLC.COM](mailto:SKNIELING@TMSCONTRACTORSLLC.COM)



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PROJECT NO: 070116  
 DRAWN BY: MJM  
 CHECKED BY: SK

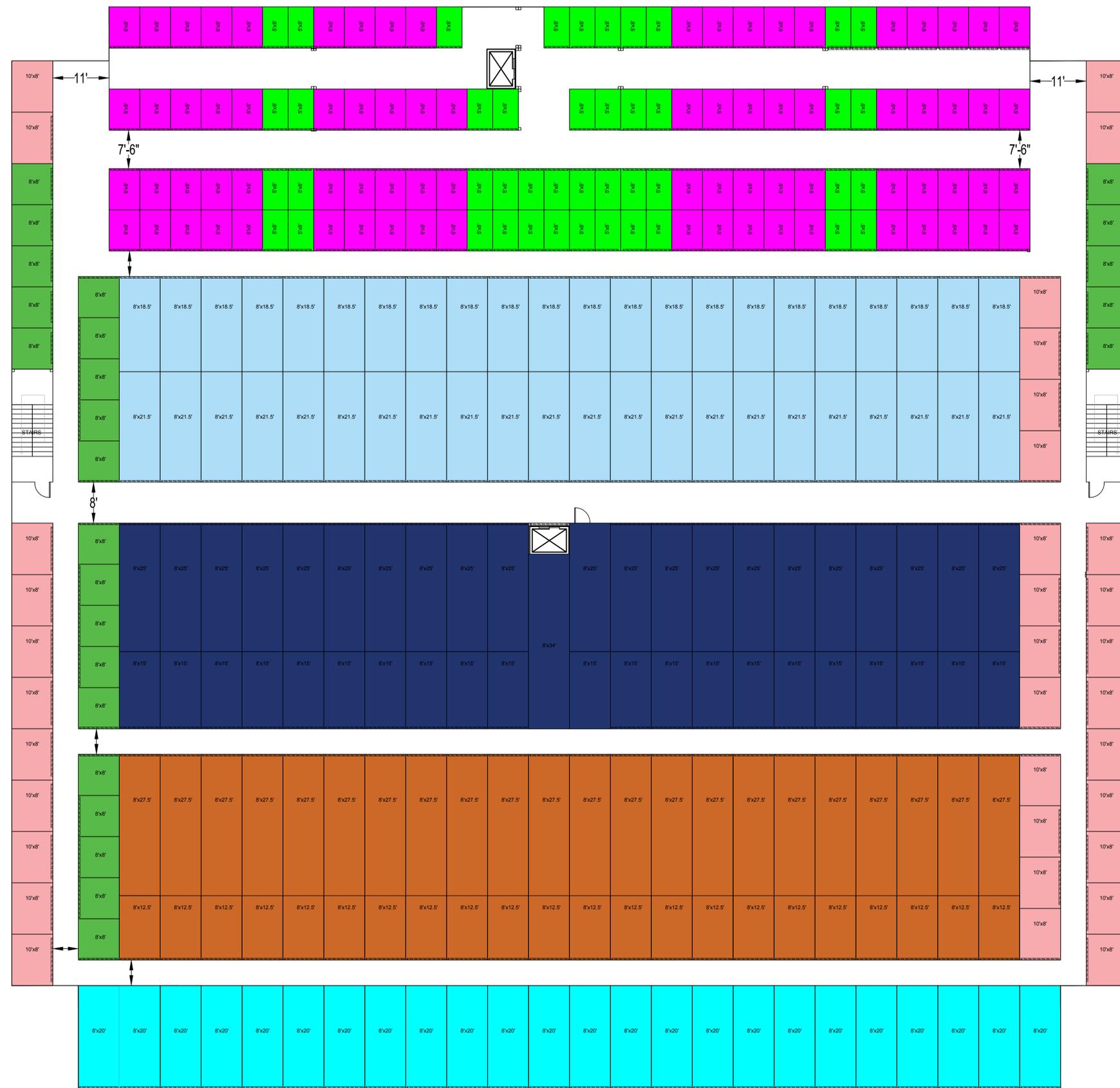
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SHEET TITLE

**SECOND FLOOR -  
 FLOOR PLAN**

SHEET NUMBER

**A1.30**



Drawings Prepared By:  
Maloney Services  
832.257.4619  
maloneyservices@yahoo.com

PROJECT TITLE  
**GREEN SPACE STORAGE FACILITY**  
PEARLAND, TEXAS 77591

A PROJECT FOR:  
TMS CONTRACTORS, LLC  
713-256-3945  
STEFAN KNIELING  
PRESIDENT  
[SKNIELING@TMSCONTRACTORSLLC.COM](mailto:SKNIELING@TMSCONTRACTORSLLC.COM)

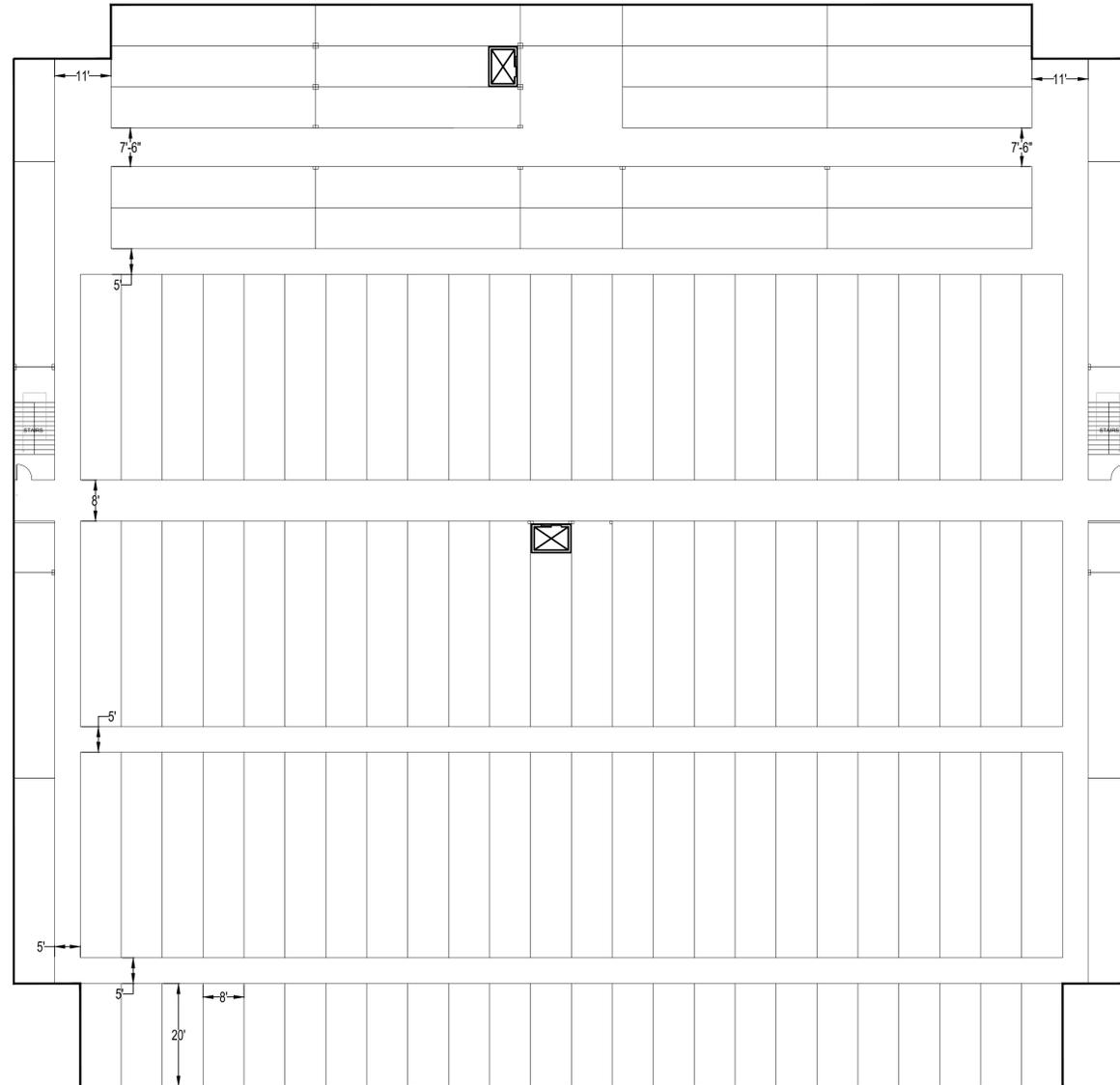


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PROJECT NO: 070116  
DRAWN BY: MJM  
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SHEET TITLE  
**SECOND FLOOR - SPACE PLAN**

SHEET NUMBER  
**A1.35**



Drawings Prepared By:  
Maloney Services  
832.257.4619  
maloneyservices@yahoo.com

PROJECT TITLE

**GREEN SPACE STORAGE  
FACILITY  
PEARLAND, TEXAS 77591**

A PROJECT FOR:  
TMS CONTRACTORS, LLC  
713-256-3945  
STEFAN KNIELING  
PRESIDENT  
[SKNIELING@TMSCONTRACTORSLLC.COM](mailto:SKNIELING@TMSCONTRACTORSLLC.COM)



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PROJECT NO: 070116

DRAWN BY: MJM

CHECKED BY: SK

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SHEET TITLE

**THIRD FLOOR -  
FLOOR PLAN**

SHEET NUMBER

**A1.40**



PROJECT TITLE  
**GREEN SPACE STORAGE FACILITY**  
 PEARLAND, TEXAS 77591

A PROJECT FOR:  
 TMS CONTRACTORS, LLC  
 713-256-3945  
 STEFAN KNIELING  
 PRESIDENT  
[SKNIELING@TMSCONTRACTORSLLC.COM](mailto:SKNIELING@TMSCONTRACTORSLLC.COM)

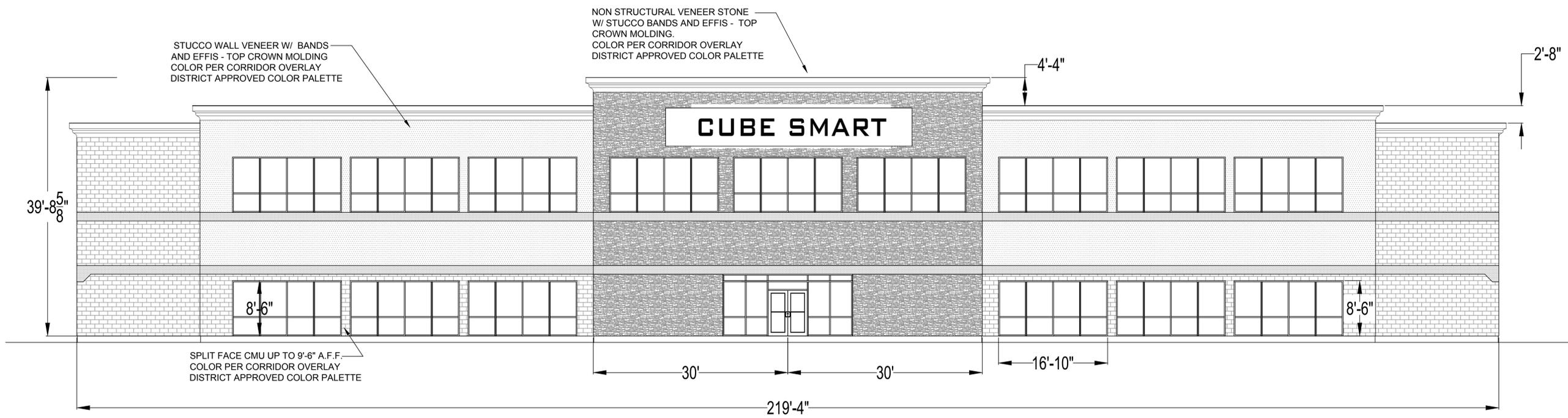


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PROJECT NO: 070116  
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 CHECKED BY: SK  
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SHEET TITLE  
**THIRD FLOOR - SPACE PLAN**

SHEET NUMBER  
**A1.45**



STUCCO WALL VENEER W/ BANDS AND EFFIS - TOP CROWN MOLDING  
 COLOR PER CORRIDOR OVERLAY  
 DISTRICT APPROVED COLOR PALETTE

NON STRUCTURAL VENEER STONE W/ STUCCO BANDS AND EFFIS - TOP CROWN MOLDING.  
 COLOR PER CORRIDOR OVERLAY  
 DISTRICT APPROVED COLOR PALETTE

SPLIT FACE CMU UP TO 9'-6" A.F.F.  
 COLOR PER CORRIDOR OVERLAY  
 DISTRICT APPROVED COLOR PALETTE

**MATERIALS LEGEND:**

|                        | FRONT               | ENTIRE BLDG                     |
|------------------------|---------------------|---------------------------------|
| GLAZING:               | 2,350 (29%)         | 2,350 (9%)                      |
| STUCCO:                | 2,279 (29%)         | 5,279 (20%)                     |
| SPLIT FACE CMU:        | 1,350 (17%)         | 15,609 (61%)                    |
| STONE VENEER:          | 1,471 (19%)         | 1,471 (8%)                      |
| WALL SIGN:             | 270 (6%)            | 540 (2%)                        |
| <b>TOTAL ELEVATION</b> | <b>7,720 (100%)</b> | <b>25,249 S.F. TOTAL (100%)</b> |

PROJECT TITLE  
**GREEN SPACE STORAGE FACILITY**  
 2911 WESTMINSTER  
 PEARLAND, TEXAS 77591

A PROJECT FOR:  
 TMS CONTRACTORS, LLC  
 713-256-3945  
 STEFAN KNIELING  
 PRESIDENT  
[SKNIELING@TMSCONTRACTORSLLC.COM](mailto:SKNIELING@TMSCONTRACTORSLLC.COM)

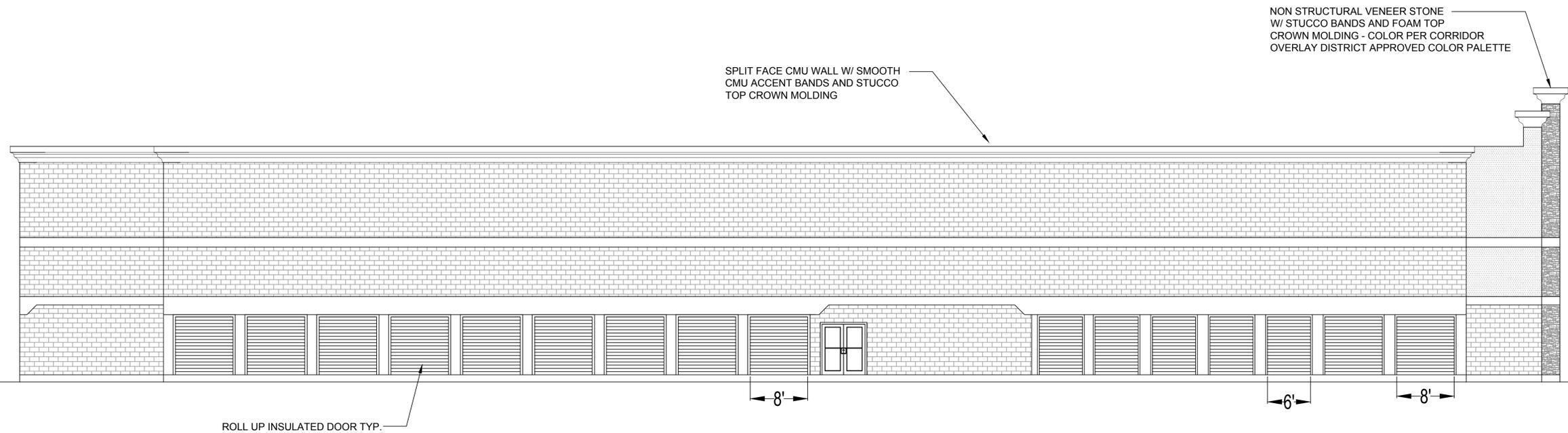


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PROJECT NO: 070116  
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SHEET TITLE  
**FRONT ELEVATION**

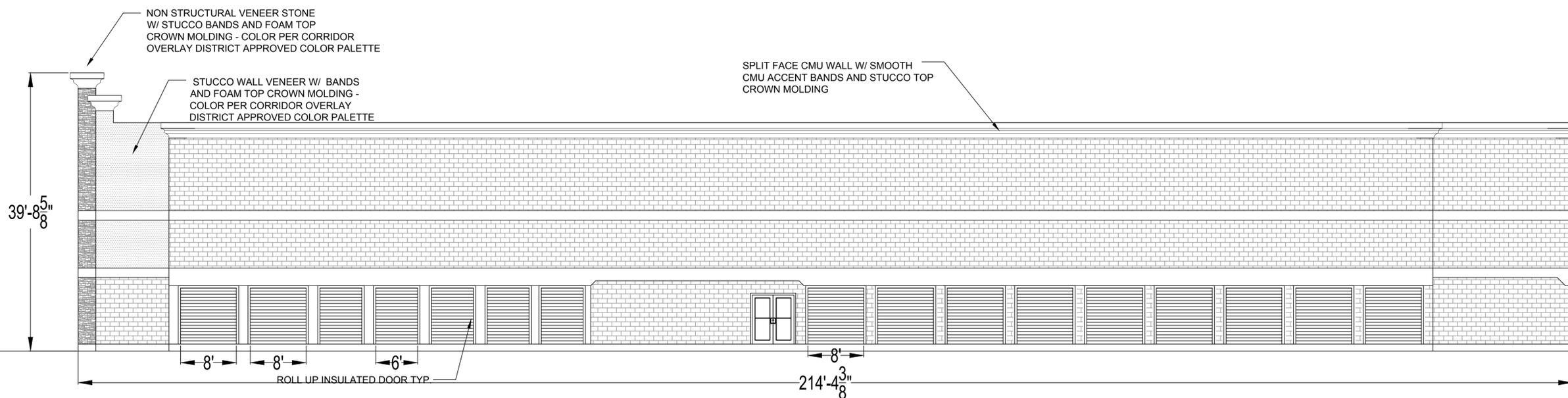
SHEET NUMBER  
**A1.50**



NORTH ELEVATION

SCALE: 1/8"=1'-0"

02



SOUTH ELEVATION

SCALE: 1/8"=1'-0"

01

PROJECT TITLE

**GREEN SPACE STORAGE  
FACILITY**  
2911 WESTMINSTER  
PEARLAND, TEXAS 77591

A PROJECT FOR:  
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713-256-3945  
STEFAN KNIELING  
PRESIDENT  
[SKNIELING@TMSCONTRACTORSLLC.COM](mailto:SKNIELING@TMSCONTRACTORSLLC.COM)

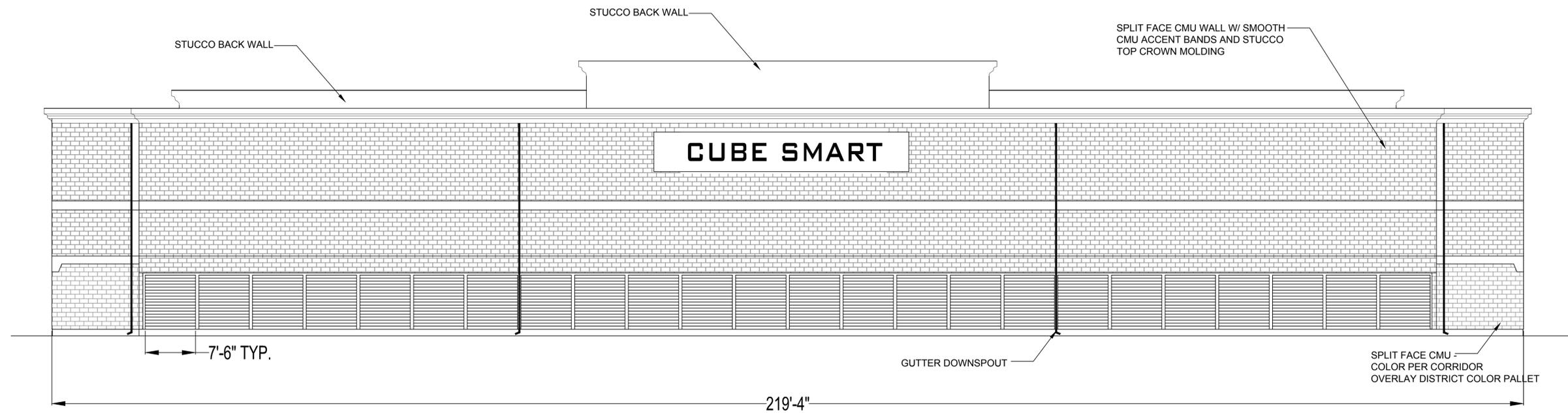


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PROJECT NO: 070116  
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SHEET TITLE  
**SIDE ELEVATIONS**

SHEET NUMBER  
**A1.60**



PROJECT TITLE

**GREEN SPACE STORAGE FACILITY**  
 2911 WESTMINSTER  
 PEARLAND, TEXAS 77591

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 TMS CONTRACTORS, LLC  
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[SKNIELING@TMSCONTRACTORSLLC.COM](mailto:SKNIELING@TMSCONTRACTORSLLC.COM)



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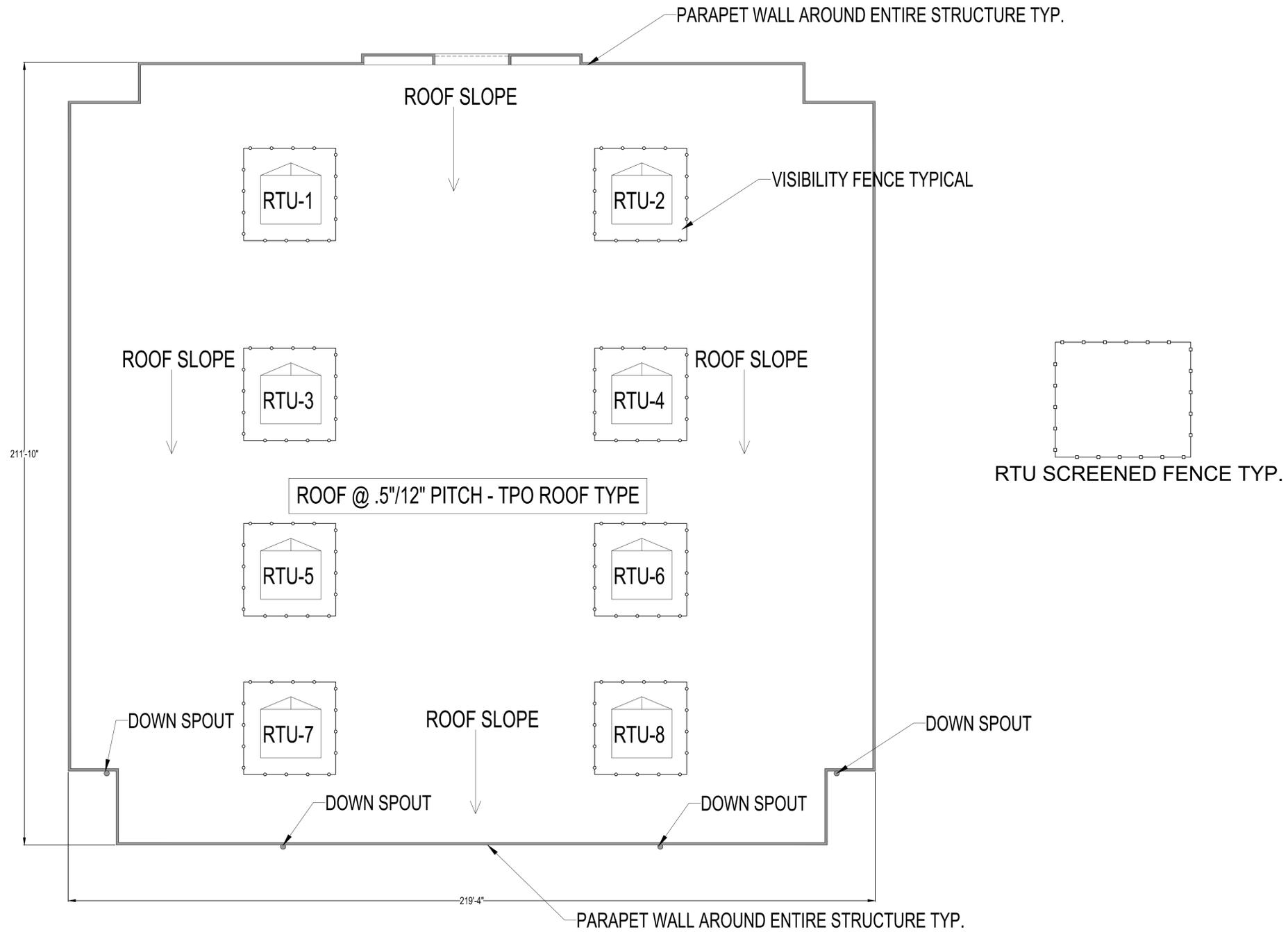
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 DRAWN BY: MJM  
 CHECKED BY: SK  
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SHEET TITLE  
**REAR ELEVATION**

SHEET NUMBER  
**A1.70**



GENERAL EXAMPLE FOR ROOF TOP FENCING



PROJECT TITLE

**GREEN SPACE STORAGE FACILITY**  
 2911 WESTMINSTER  
 PEARLAND, TEXAS 77591

A PROJECT FOR:  
 TMS CONTRACTORS, LLC  
 713-256-3945  
 STEFAN KNIELING  
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[SKNIELING@TMSCONTRACTORSLLC.COM](mailto:SKNIELING@TMSCONTRACTORSLLC.COM)



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PROJECT NO: 070116

DRAWN BY: MJM

CHECKED BY: SK

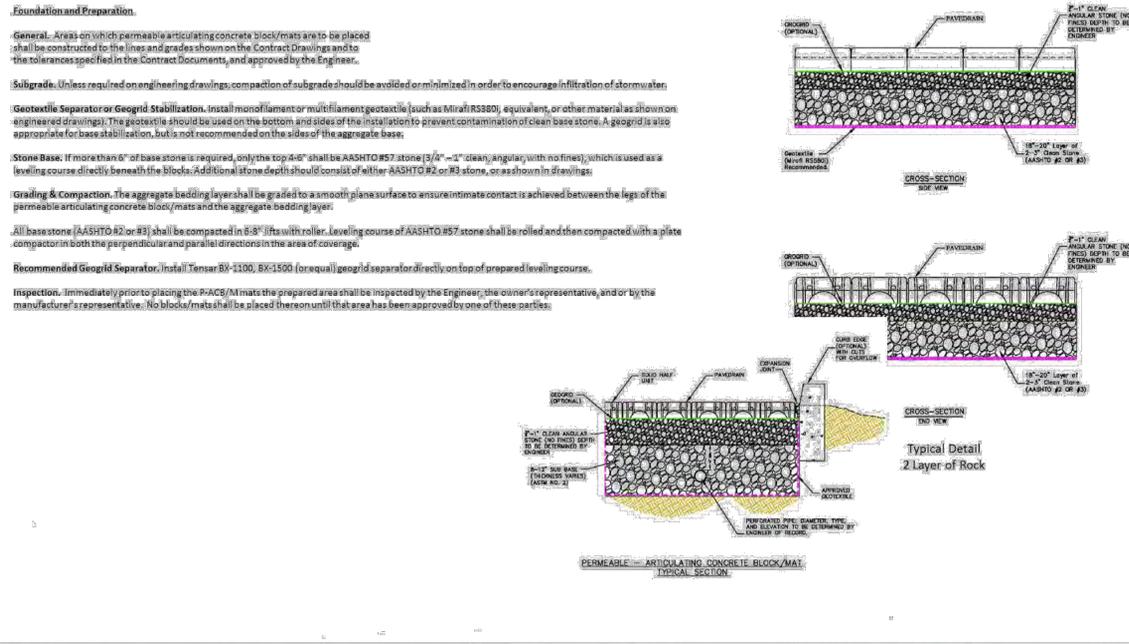
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SHEET TITLE

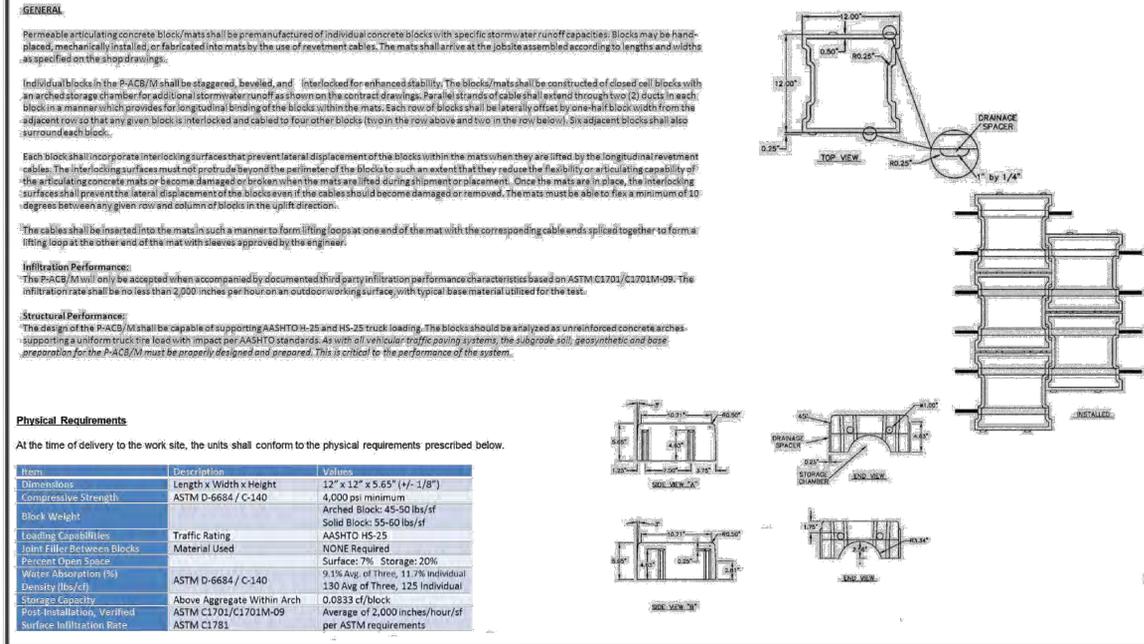
**ROOF PLAN**

SHEET NUMBER

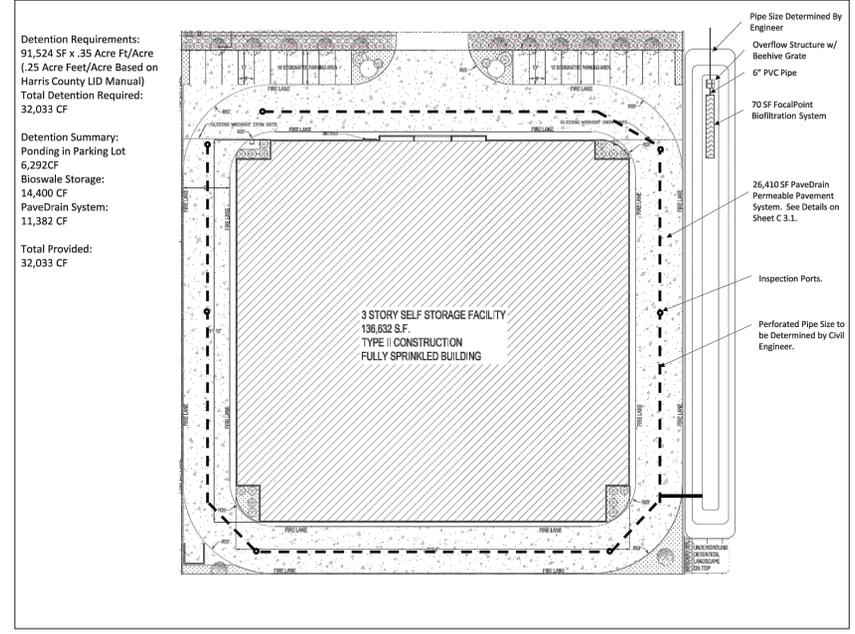
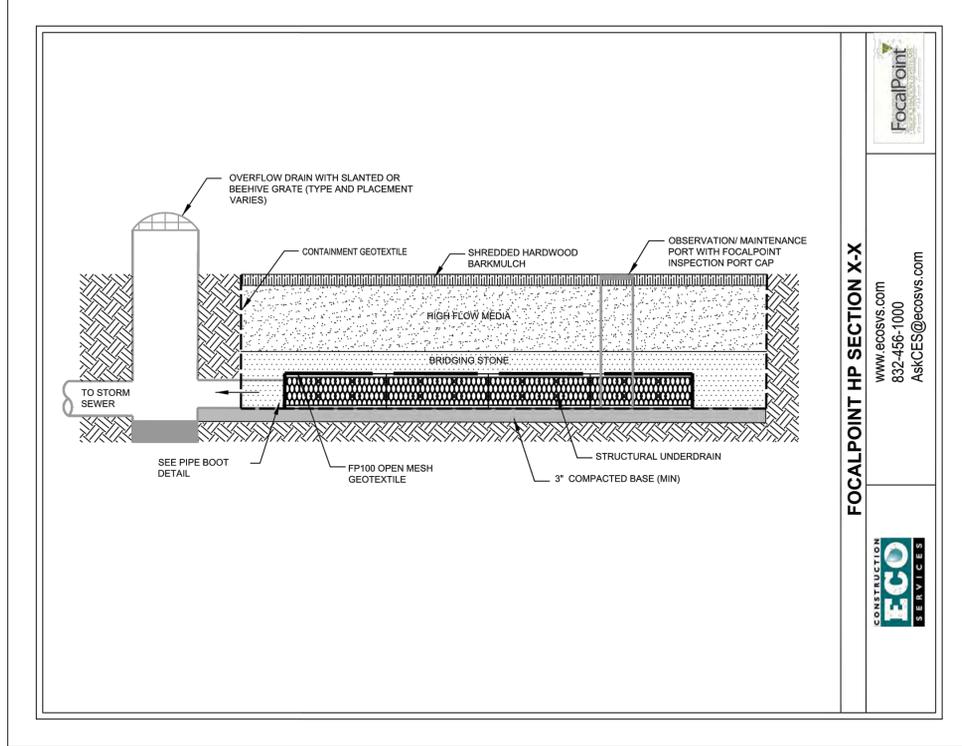
**A1.80**



| REVISIONS         | PROJECT NAME   | PREPARED FOR   | DATE       | SCALE        |
|-------------------|----------------|----------------|------------|--------------|
| DATE: DISCUSSION: | PAVEDRAIN, LLC | PAVEDRAIN, LLC | 08/15/2016 | NOT TO SCALE |



| REVISIONS         | PROJECT NAME   | PREPARED FOR   | DATE       | SCALE        |
|-------------------|----------------|----------------|------------|--------------|
| DATE: DISCUSSION: | PAVEDRAIN, LLC | PAVEDRAIN, LLC | 08/15/2016 | NOT TO SCALE |



PROJECT TITLE

**GREEN SPACE STORAGE FACILITY**  
2911 WESTMINSTER  
PEARLAND, TEXAS 77591

A PROJECT FOR:  
TMS CONTRACTORS, LLC  
713-256-3945  
STEFAN KNIELING  
PRESIDENT  
[SKNIELING@TMSCONTRACTORSLLC.COM](mailto:SKNIELING@TMSCONTRACTORSLLC.COM)

**TMS CONTRACTORS L.L.C.**

| DATE     | DESCRIPTION      |
|----------|------------------|
| 11-04-16 | DESIGN DOCUMENTS |

PROJECT NO: 070116  
DRAWN BY: MJM  
CHECKED BY: SK

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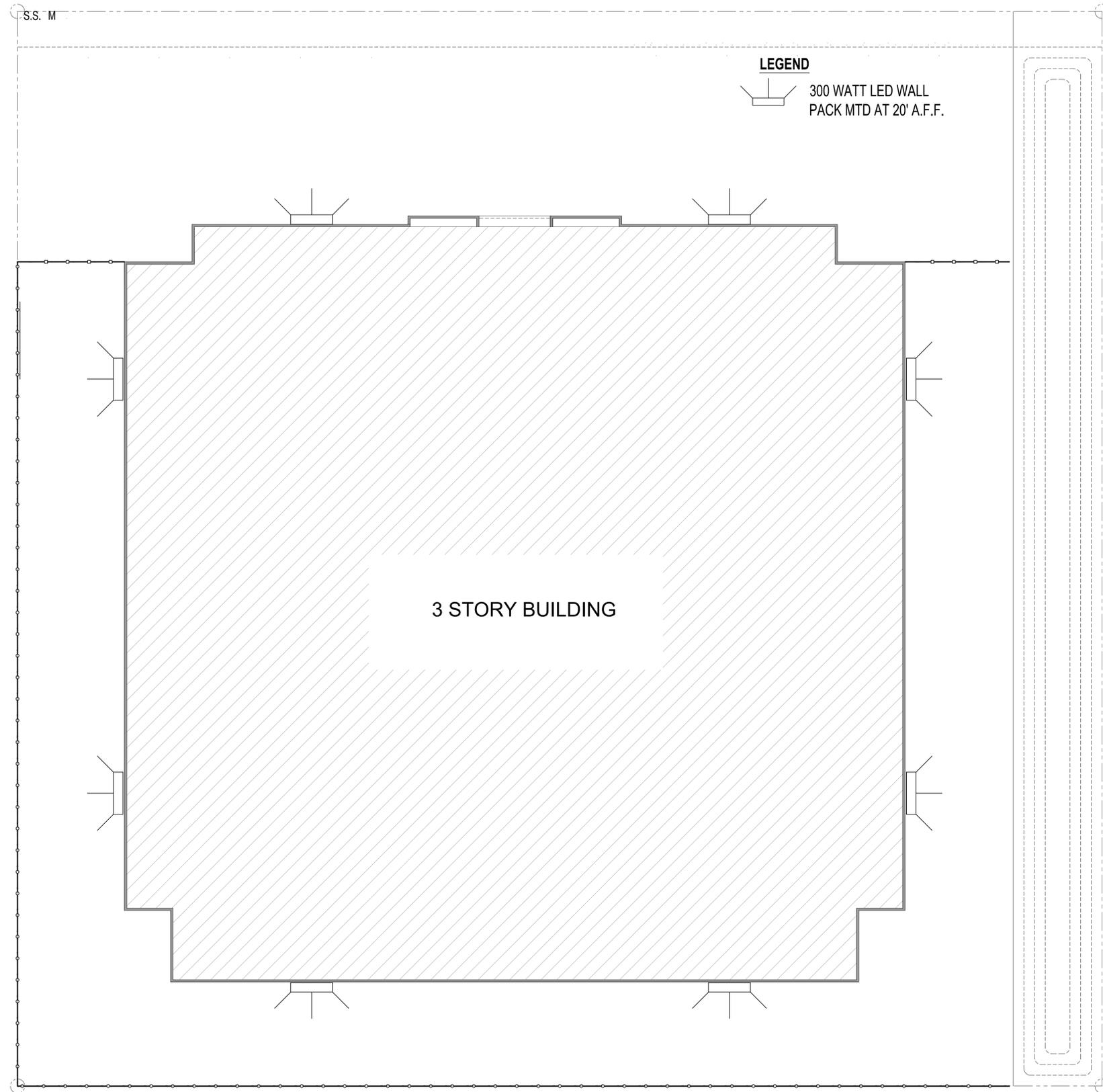
SHEET TITLE

**DETENTION DETAILS**

SHEET NUMBER

**C1.10**

# WESTMINSTER



PROJECT TITLE

**GREEN SPACE STORAGE FACILITY**  
**2911 WESTMINSTER**  
**PEARLAND, TEXAS 77591**

A PROJECT FOR:  
**TMS CONTRACTORS, LLC**  
 713-256-3945  
**STEFAN KNIELING**  
 PRESIDENT  
[SKNIELING@TMSCONTRACTORSLLC.COM](mailto:SKNIELING@TMSCONTRACTORSLLC.COM)



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PROJECT NO: 070116

DRAWN BY: MJM

CHECKED BY: SK

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SHEET TITLE

**LIGHTING SITE PLAN**

SHEET NUMBER

**L1.10**



**D. CONSIDERATION AND  
POSSIBLE ACTION – ZONE  
CHANGE APPLICATION  
NO. ZONE 16-00016**

A request of the City of Pearland, for proposed amendments to all Planned Developments and Planned Unit Developments within the City of Pearland to require approval of a Conditional Use Permit for auto related uses, Gas Stations, Pawn Shops, Payday Loan Centers, Gold Exchanges, Rehab Facilities, Halfway House, Boarding Homes, Asphalt/Concrete Plants, Liquor/Package Stores, Cigars, Tobacco or E-Cigarettes Shops and Vaping Lounges.



## **JOINT PUBLIC HEARING**

THE CITY COUNCIL CITY AND THE PLANNING AND ZONING COMMISSION OF  
THE CITY OF PEARLAND, TEXAS,  
**MONDAY, NOVEMBER 21, 2016, AT 6:30 P.M.**  
COUNCIL CHAMBERS - CITY HALL-3519 LIBERTY DRIVE

### **I. CALL TO ORDER**

### **II. PURPOSE OF HEARING**

#### **Zone Change Application No. ZONE 16-00016**

A request of the City of Pearland, for proposed amendments to all Planned Developments and Planned Unit Developments within the City of Pearland to require approval of a Conditional Use Permit for auto related uses, Gas Stations, Pawn Shops, Payday Loan Centers, Gold Exchanges, Rehab Facilities, Halfway House, Boarding Homes, Asphalt/Concrete Plants, Liquor/Package Stores, Cigars, Tobacco or E-Cigarettes Shops and Vaping Lounges.

### **III. APPLICATION INFORMATION AND CASE SUMMARY**

- A. STAFF REPORT
- B. APPLICANT PRESENTATION
- C. STAFF WRAP UP

### **IV. PERSONS WISHING TO SPEAK FOR OR AGAINST THE PROPOSED REQUEST**

### **V. COUNCIL/PLANNING COMMISSION/STAFF DISCUSSION**

### **VI. ADJOURNMENT**

**This site is accessible to disabled individuals. For special assistance, please call Young Lorfing, City Secretary, at 281-652-1655 prior to the meeting so that appropriate arrangements can be made.**



## Staff Report

To: City Council and Planning and Zoning Commission

From: Planning Department

Date: November 21, 2016

Re: Zone Change Application No. ZONE 16-00016

A request of the City of Pearland, for proposed amendments to all Planned Developments and Planned Unit Developments within the City of Pearland to require approval of a Conditional Use Permit for auto related uses, Gas Stations, Pawn Shops, Payday Loan Centers, Gold Exchanges, Rehab Facilities, Halfway House, Boarding Homes, Asphalt/Concrete Plants, Liquor/Package Stores, Cigars, Tobacco or E-Cigarettes Shops and Vaping Lounges.

### **Summary of Request**

Over the past two years, the City Council has approved amendments to the Unified Development Code (UDC) Land Use Matrix which make certain uses of property approvable by Conditional Use Permit in some commercial and industrial zoning classifications. The amendments are for a number of uses, provided in the list below, that were determined to have possible negative impacts on the surrounding areas.

The intent of this proposed amendment is to make these same uses require a Conditional Use Permit in Planned Developments (PD) with commercially zoned property. At this time, without this proposed amendment, should one of these uses be proposed in a commercial district of one of the PDs, it would be allowed by right, provided it is not currently prohibited by the PD. The amendment would apply the same regulations to these PDs as the rest of the city.

This amendment acts as a general statement dictating how to interpret permitted land use based on existing conditions. As opposed to prohibiting all of the listed uses from all of the PDs, the proposed amendment will allow for a Conditional Use Permit under certain circumstances. If a use is currently permitted by the PD, but included on the list of uses below, that use will now require a CUP. If the use currently requires a CUP per the PD, then the use will still require a CUP. If a proposed use is currently prohibited by the PD, then that use remains prohibited.

This amendment proposes to require a CUP for the following uses in PD districts;

|   |   |
|---|---|
| Liquor/Package Store  | Combined auto lease   |
| Cigars, Tobacco, or E-Cigarettes<br>Shops and Vaping Lounges  | Auto Wash (Full Service/Detail<br>Shop)   |
| Pawn Shop   | Auto Wash (Self-Service)  |
| Pay Day Loan Centers  | Auto Wrecker Service  |
| Gold Exchanges  | Boat Sales/Personal Watercraft<br>Sales (New/Repair)  |
| Boarding Home   | Bus or Truck Storage  |
| Halfway House   | Commercial Transit Terminal   |
| Rehab facilities  | Gasoline Station (With or Without<br>Auto Wash - Self Serve)                                |
| Auto related uses   | Limousine/Taxi Service  |
| All Terrain Vehicle (Go-Carts & Motor<br>Cycles) Dealer/Sales   | Motorcycle Sales/Dealer<br>(New/Repair)   |
| Auto Accessories and/or Parts (Only<br>Retail Sales in building, no outside<br>storage or display, no repair) | Parking Lot or Garage for<br>passenger cars and trucks of<br>less than one (1) ton capacity |
| Auto Glass Repair/Tinting   | Tire Retreading and Capping   |
| Auto Interior Shop/Upholstery   | Tire Sales (Outdoors, With<br>Open Storage)   |
| Auto Parts Sales (With Outside<br>Storage or Display)   | Transfer Station (Refuse/Pick-up)   |
| Auto Parts Sales (Indoors Only; With<br>Repair Bays)  | Truck (Heavy) and Bus Rental or<br>Sales  |
| Auto Rental   | Truck or Freight Terminal   |
| Auto Repair (Major)   | Asphalt/Concrete Plants   |
| Auto Repair (Minor)   |   |
| Auto Sales/Dealer (New-In Building,<br>Auto Servicing and Used Auto Sales<br>as accessory uses only)          |   |

### **Recommendation**

Staff recommends approval of this amendment to all of the Planned Developments for the following reasons:

1. This amendment brings the land use charts within PD documents in line with today's currently amended UDC and apply the same regulations to those areas as the rest of the city.
2. This amendment expands the ability of the City to allow land uses which could negatively affect surrounding areas which may include schools, residential developments, and/or public institutions with appropriate measures to mitigate potential negative impact.

Staff recommends the following text as an amendment to each of the existing Planned Developments:

*Effective December --- (date of adoption)—*

*If the Planned Development or Planned Unit Development would have allowed any of the uses in Table 1 then the previously permitted use would be permitted by Conditional Use Permit.*

*If the Planned Development or Planned Unit Development labeled any of the uses in Table 1 as prohibited then this amendment does not change that status.*

*If the Planned Development or Planned Unit Development labeled any of the uses in Table 1 as Conditional Use Permit then there is no change and the Use still requires a Conditional Use Permit.*

**Table 1:**

*Liquor/Package Store  
Cigars, Tobacco, or E-Cigarettes Shop and Vaping Lounges  
Pawn Shop  
Pay Day Loan Centers  
Gold Exchanges  
Boarding Home  
Halfway House  
Rehab Facilities  
Auto related uses  
All Terrain Vehicle (Go-Carts & Motor Cycles) Dealer/Sales  
Auto Accessories and/or Parts (Only Retail Sales in building, no outside storage or display, no repair)  
Auto Glass Repair/Tinting  
Auto Interior Shop/Upholstery  
Auto Parts Sales (With Outside Storage or Display)  
Auto Parts Sales (Indoors Only; With Repair Bays)  
Auto Rental  
Auto Repair (Major)  
Auto Repair (Minor)  
Auto Sales/Dealer (New-In Building, Auto Servicing and Used Auto Sales as accessory uses only) Combined auto lease  
Auto Wash (Full Service/Detail Shop)  
Auto Wash (Self-Service)  
Auto Wrecker Service  
Boat Sales/Personal Watercraft Sales (New/Repair)  
Bus or Truck Storage*

*Commercial Transit Terminal*  
*Gasoline Station (With or Without Auto Wash - Self Serve)*  
*Limousine/Taxi Service*  
*Motorcycle Sales/Dealer (New/Repair)*  
*Parking Lot or Garage for passenger cars and trucks of less than one (1) ton capacity*  
*Tire Retreading and Capping*  
*Tire Sales (Outdoors, With Open Storage)*  
*Transfer Station (Refuse/Pick-up)*  
*Truck (Heavy) and Bus Rental or Sales*  
*Truck or Freight Terminal*  
*Asphalt/Concrete Plants*

#### **Conformance with the Comprehensive Plan**

This amendment will be in conformance with the Comprehensive Plan. Conditional uses are those uses which are generally compatible with the permitted land uses in a given zoning district but may require additional scrutiny. A CUP allows the Planning and Zoning Commission and the City Council the opportunity to review the suitability of the use in the zoning district.

#### **Conformance with the Thoroughfare Plan**

The 50 PD/PUD within the City of Pearland are located on a variety of road classifications that are addressed by the individual PD/PUDs.

#### **Conformance with the Unified Development Code**

This amendment brings the land use charts within each PD/PUD documents in line with currently amended UDC and applies the same regulations to those areas as the rest of the city.

#### **Impact on Existing and Future Development**

It is anticipated that the proposed amendments will have a positive impact on existing or future developments. A CUP allows the Planning and Zoning Commission and the City Council the opportunity to review the suitability of the use in the zoning district. Conditional uses are those uses which are generally compatible with the permitted land uses in a given zoning district. These uses require individual review of their proposed location, design, configuration, and possible imposition of conditions to ensure appropriateness of the use at a particular location within a given district.

#### **Public Notification**

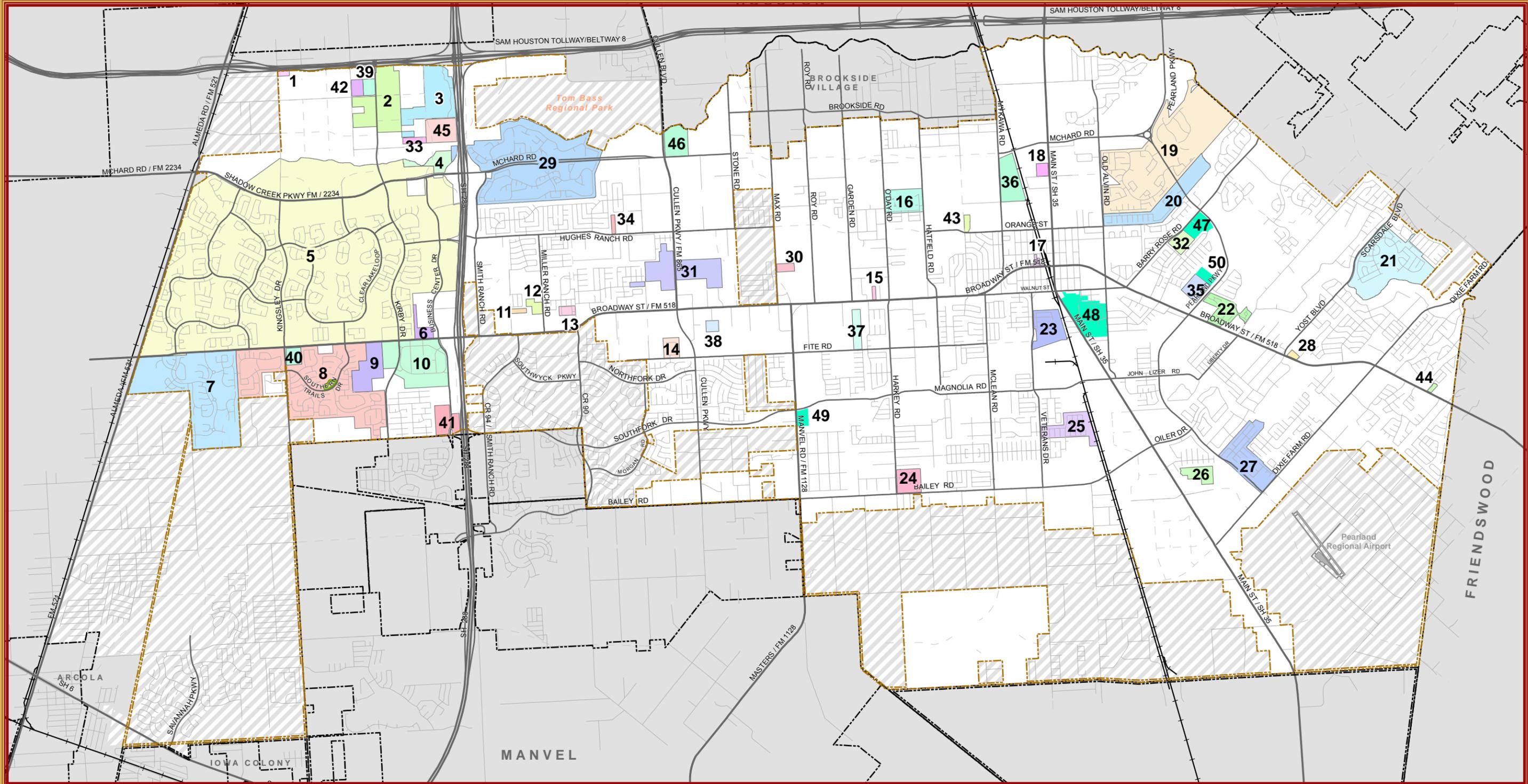
An ordinance of the City Council adopted in September 2016 approved the notice of the proposed zoning to occur in the same manner as what takes place for a text amendment; by placing notice in the newspaper. The City published notice in the paper on two weeks instead of only one week.

#### **Opposition to or Support of Proposed Request**

As of the date of this writing, staff has not received any comments either in opposition to or in support of the proposed change in zoning request to amend the PUD.

**Exhibits**

- 1. Approved Planned Development Map

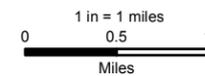


# CITY OF PEARLAND

## Planned Development Districts (PD)

\* has an amendment (#) indicates number of amendments

- |                               |                                    |                                      |                                     |   |
|-------------------------------|------------------------------------|--------------------------------------|-------------------------------------|---|
| 1 14525 Alameda School Road   | 12 Skilled Nursing Home            | 23 Twin Lakes* (1)                   | 34 Classic Self Storage             | 45 Ivy District                         |
| 2 LNR Clear Creek Spectrum    | 13 Parkside at Pearland            | 24 Lawrence Place                    | 35 The Center at Pearland Pkwy* (2) | 46 Pearland's Lake Park                 |
| 3 Lifestyle Center* (1)       | 14 20 Acres Fite Road              | 25 Canterbury Park                   | 36 Third Coast Terminals* (1)       | 47 Pearland Marketplace                 |
| 4 Strouhal Tracts             | 15 Botanical Landscape* (1)        | 26 Villages at Town Lake             | 37 West Lake                        | 48 Bakers Landing                       |
| 5 Shadow Creek Ranch* (1)     | 16 Village Grove                   | 27 Oakbrook Estates                  | 38 Pearland Senior Village          | 49 Midtown at Magnolia                  |
| 6 WCF Development             | 17 Old Downtown Church* (1)        | 28 Ellis Plaza                       | 39 Technology District              | 50 The Center at Pearland Pkwy Addendum |
| 7 Shadow Creek Ranch Addendum | 18 Pauluhn Electric Manufacturing  | 29 Country Place                     | 40 Kingsley & Broadway              |   |
| 8 Southern Trails* (1)        | 19 Highland Glen* (1)              | 30 Gartner Coatings                  | 41 Business Center                  |   |
| 9 Ridge Rock                  | 20 123 Acres Pearland Parkway* (1) | 31 Houston Memorial Gardens Cemetery | 42 Dover Energy                     |   |
| 10 Pearland Town Center* (6)  | 21 Bellavita at Green Tee* (2)     | 32 New Life Lutheran Church          | 43 5205 Orange Street               |   |
| 11 Wooten Road                | 22 Province Village* (2)           | 33 Water Lights District             | 44 BAKS Brewing                     |   |



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

MAP PREPARED: SEP 2016  
CITY OF PEARLAND GIS DEPARTMENT

## **E. DISCUSSION ITEMS**

1. Commissioners Activity Report
2. Zoning Update:  
1<sup>st</sup> Reading 11-14-16  
CUP 2016-00007:5004 Broadway St.  
CUP for Church in NS  
CUP 2016-00008: 3200 Main St. -  
CUP for Grocery Store in M-1\_
3. Next P&Z Meeting, – December 5,  
2016 – Regular P&Z meeting (plats  
only)

## **IV. ADJOURNMENT**