



JOINT PUBLIC HEARING
THE CITY COUNCIL CITY AND THE PLANNING AND ZONING COMMISSION OF
THE CITY OF PEARLAND, TEXAS,
MONDAY, NOVEMBER 21, 2016, AT 6:30 P.M.
COUNCIL CHAMBERS - CITY HALL-3519 LIBERTY DRIVE

I. CALL TO ORDER

II. PURPOSE OF HEARING

Conditional Use Permit Application No. CUP 16-00009

A request of Arne Pepin, applicant/owner; for approval of a Conditional Use Permit to allow for a tool and machinery rental with outdoor storage in the General Commercial (GC) zoning district; on approximately 4.694 acres of land.

Legal Description: Being 4.694 acres (204,491 square feet) of land situated in the northeast one-quarter of Section 17, H. T. & B. RR Co. Survey, Abstract No. 242, Brazoria County, Texas, and being a part of the land described in Vol. 103, Page 156 and also part of the land described in Vol. 233, Page 452 of the Deed Records of Brazoria County, Texas.

General Location: 2932 Manvel Road, Pearland, TX.

III. APPLICATION INFORMATION AND CASE SUMMARY

- A. STAFF REPORT
- B. APPLICANT PRESENTATION
- C. STAFF WRAP UP

IV. PERSONS WISHING TO SPEAK FOR OR AGAINST THE PROPOSED REQUEST

V. COUNCIL/PLANNING COMMISSION/STAFF DISCUSSION

VI. ADJOURNMENT

This site is accessible to disabled individuals. For special assistance, please call Young Lorfing, City Secretary, at 281-652-1655 prior to the meeting so that appropriate arrangements can be made.



Staff Report

To: City Council and Planning and Zoning Commission

From: Planning Department

Date: November 21, 2016

Re: Conditional Use Permit Application No. CUP 16-00009

A request of Arne Pepin, applicant/owner; for approval of a Conditional Use Permit to allow for a tool and machinery rental with outdoor storage in the General Commercial (GC) zoning district; on approximately 4.694 acres of land.

General Location: 2932 Manvel Road

Summary of Request

This request is for approval of a Conditional Use Permit (CUP) to allow tool and machinery rental with outdoor storage within the General Commercial (GC) district. The applicant is proposing to remove the former dirt bike track from the site that has been vacant for approximately two years and construct a paved parking area on the subject property to use as a facility to store trucks and trailers for rental. The subject property is surrounded by primarily residential developments and vacant property. The actual use of the property is a drop-off site for large trailers to serve as a halfway point between sites. There is no proposed structures to be located on the site.

Recommendation

Staff does not recommend approval of the requested CUP to allow a tool and machinery rental with outdoor storage use on the approximately 4.694 acre site for the following reasons:

1. The proposed use is not in conformance with the Future Land Use Plan (FLUP). The FLUP designates this property as Retail, Offices, and Services which is described as suitable for a variety of office and retail development. The proposed use, however, is more of a heavy commercial or light industrial use.
2. The existing uses in the surrounding area include several housing developments. There are no like or similar uses in the area and therefore this site is not suitable for that intensity of use.
3. The proposed conditional use permit would not have a positive impact on promoting future development along Manvel Road. The surrounding area is mostly developed with single family residential homes and institutional uses. The

zoning in the area is intended to promote retail, offices, and services along the Manvel Road. The proposed use would not support the neighboring residential needs and would not be compatible to the uses along Manvel Road, or be appropriate on Manvel Road which also serves as an entry to the City.

If the CUP is approved, staff recommends the following items be addressed in the site plan:

1. Existing track lighting to be removed.
2. Existing barbed wire fence to be replaced with a fence that meets the UDC.
3. All other conditions of the UDC be met.

Site History

The subject property is currently developed with a vacant dirt bike track and zoned GC. The property is surrounded by a variety of low density residential, low intensity commercial uses, and some vacant property.

The site is bounded by General Business (GB) to the north and south, Townhouse Residential (TH) to the west, and Single-Family Residential (R-1) zoning the east. The below table identifies surrounding uses and zoning districts:

	Zoning	Land Use
North	General Business (GB)	Retail Feed Store
South	General Business (GB)	Vacant / Residential
East	Single-Family Residential-1 (R-1)	Vacant / Residential / Auto Collision
West	Townhouse Residential District (TH)	Vacant

Conformance with the Comprehensive Plan

The current zoning is not in conformance with the Future Land Use Plan (FLUP). FLUP designates this property as Retail, Offices, and Services which is described as suitable for a variety of office and retail development. The proposed use, however, is more of a heavy commercial or light industrial use. The Comprehensive Plan recommends buffers should separate commercial and industrial areas from residential areas. The surrounding area includes several housing developments and not suitable for more industrial uses.

Conformance with the Thoroughfare Plan

The subject property is located along Manvel Road. According to City records, Manvel Road is a Major Thoroughfare to be widened. Major Thoroughfares are defined as having a minimum right-of-way of 120 feet. City records indicate that Manvel currently has a right-of-way of approximately 90 feet and is currently not in conformance with the Thoroughfare Plan.

Conformance with the Unified Development Code

The property is currently developed as a former dirt bike track. Upon discussion of the use in detail with the applicant, the proposed use was classified under the category of *tool and machinery rental with outdoor storage*, which requires a CUP in this zone. The actual use of the property is a drop-off site for large trailers to serve as a halfway drop off zone between sites. There is no proposed structures to be located on the site. The proposal looks to keep the existing fencing which is not in conformance with the requirements of the UDC.

The property is directly adjacent to Manvel Road which was recently added to the list of major thoroughfares with Corridor Overlay District (COD) requirements. Any new development would be required to be in compliance with the COD requirements in addition to other UDC requirements. The COD requires a higher standard for aesthetics, function, and safety of developments with frontage along specified Major Thoroughfares. At this time, the proposed site plan proposes larger caliper inch trees than the minimum required and provides a larger minimum front setback for parking than required.

The lot requirements of the proposed GC zoning district are provided in the following table. The lot meets the UDC requirements.

General Commercial (GC) Area Regulations		
Size of Lot	Required	Proposed
Minimum Lot Size	22,500 sq. ft.	204,491 sq. ft.
Minimum Lot Width	150 ft.	206 ft.
Minimum Lot Depth	125 ft.	990 ft.
Minimum Caliper	2 inch	3 inch
Minimum Parking Lot Setback	30 ft.	130 ft.

Platting Status

The subject property is not currently platted. Platting will be required prior to development of the site.

Availability of Utilities

The subject property has access to City water and sanitary sewer infrastructure. A 12-inch water line exists along the east side of Manvel Road. An 18-inch sanitary sewer line also runs along the west side of the street.

Impact on Existing and Future Development

The proposed conditional use permit would not have a positive impact on promoting future retail, office, and service uses along Manvel Road. The surrounding area is mostly developed with single family residential homes on a variety of different sized lots. Manvel Road also house a few religious and educational institutions, including three schools. The zoning in the area is intended to promote retail and office uses along the Manvel Road corridor. The proposed parking lot to store truck and trailers would not support the neighboring residential needs, and would not be compatible to the uses on Manvel Road, or be appropriate on Manvel Road that also serves as a major thoroughfare and an entry to the City.

Additional Comments

The request has been reviewed by the City's Development Review Committee (DRC), and there were no additional comments from other departments at the time of this report.

Public Notification

Staff sent public notices, comment forms and a vicinity map to the applicant, the owner of the property and to property owners within 200 feet of the subject property under consideration for the zone change. Additionally, a legal notice of the public hearing was published in the local newspaper, and a notification sign was placed on the property by the applicant.

Opposition to or Support of Proposed Request

Staff has not received any returned notices in opposition to or in support of the proposed change in zoning request.

Exhibits

1. Aerial Map
2. Zoning Map
3. Future Land Use Map
4. Notification Map
5. Notification List
6. Applicant Packet



Exhibit 1

AERIAL MAP

CUP 16-00009

2932 Manvel Road



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

1 inch = 200 feet

OCTOBER 2016
PLANNING DEPARTMENT



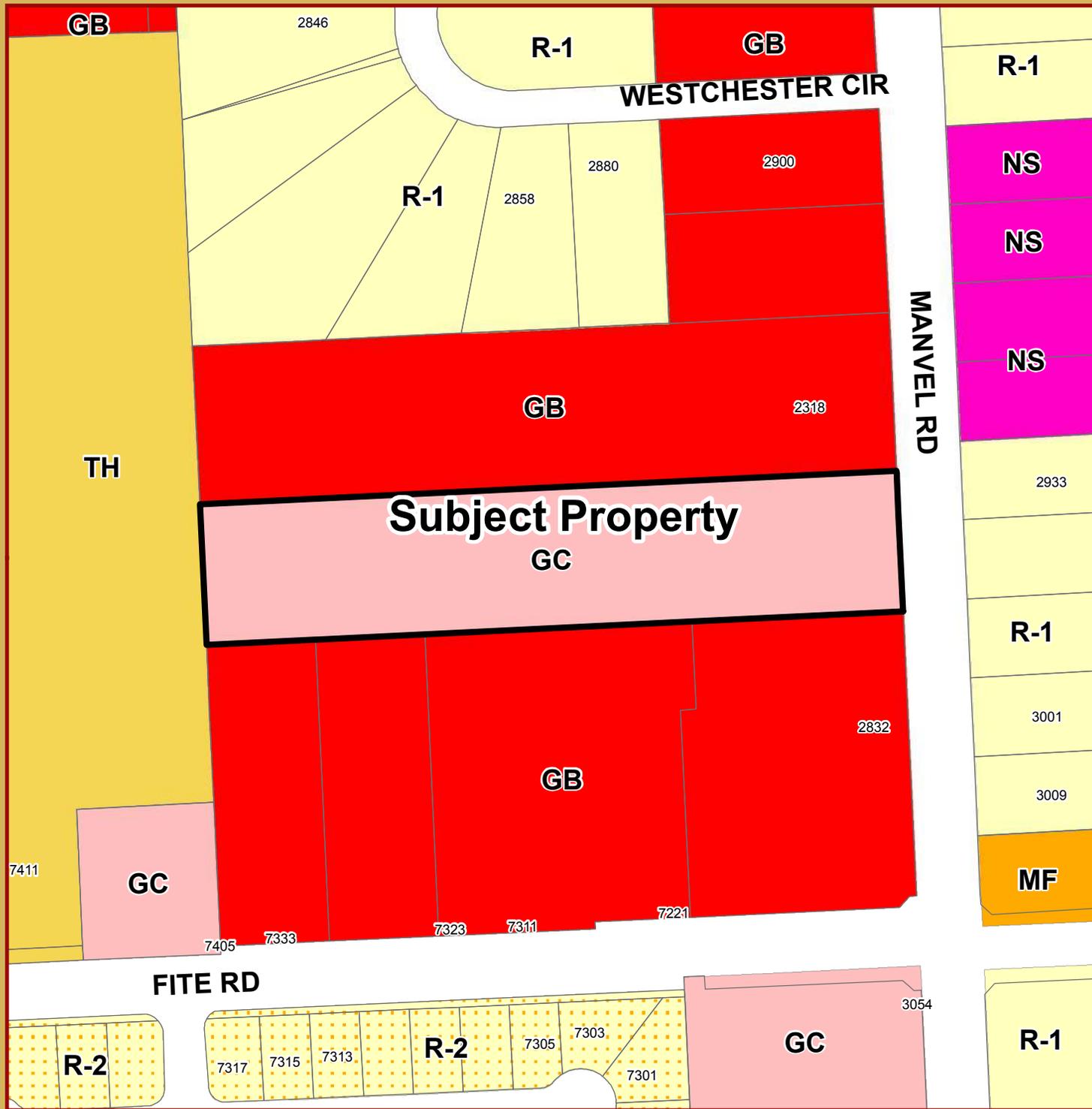


Exhibit 2

ZONING MAP

CUP 16-00009

2932 Manvel Road



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PLANNING DEPARTMENT



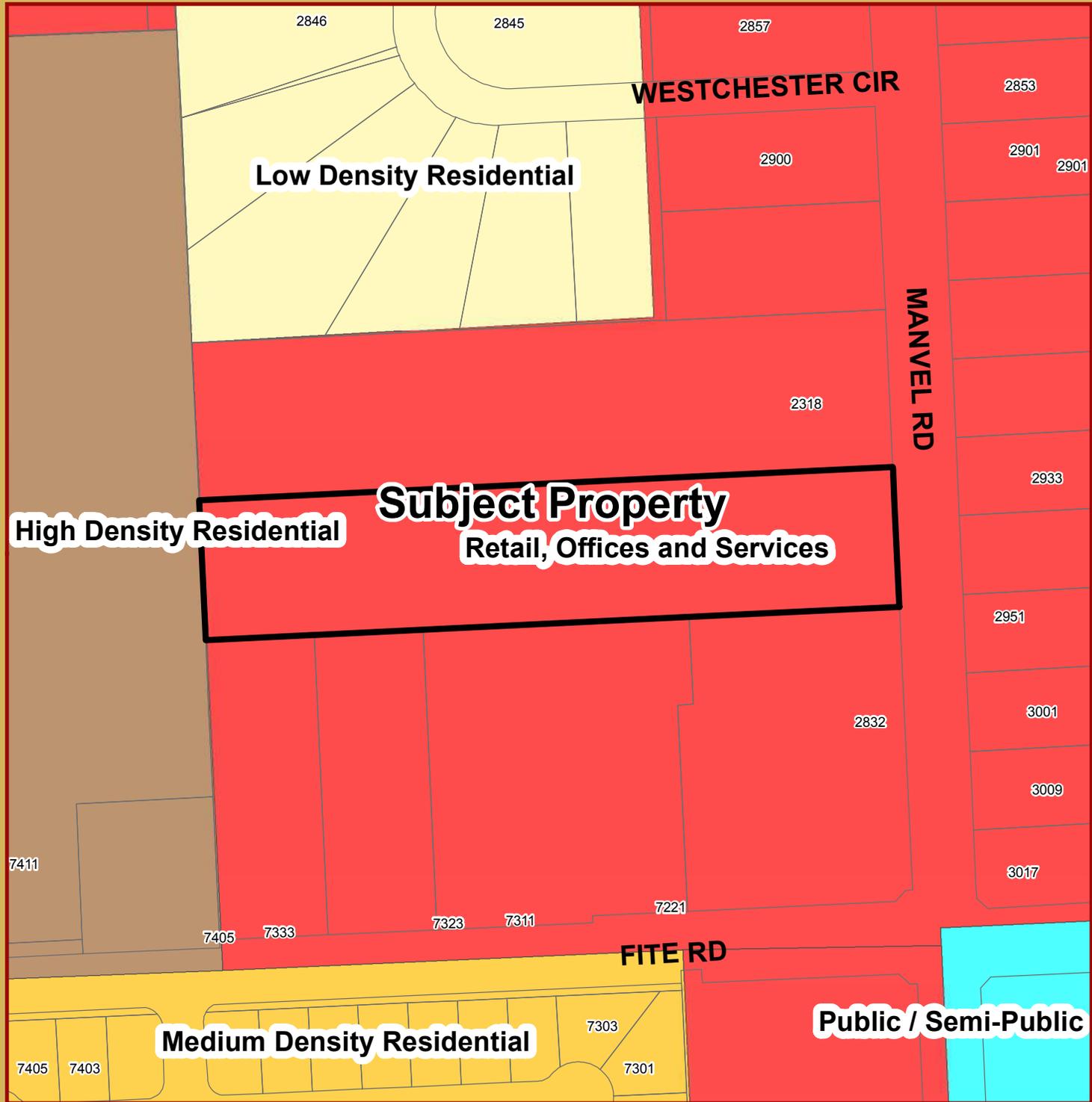


Exhibit 3

FLUP MAP

CUP 16-00009

2932 Manvel Road



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OCTOBER 2016
PLANNING DEPARTMENT



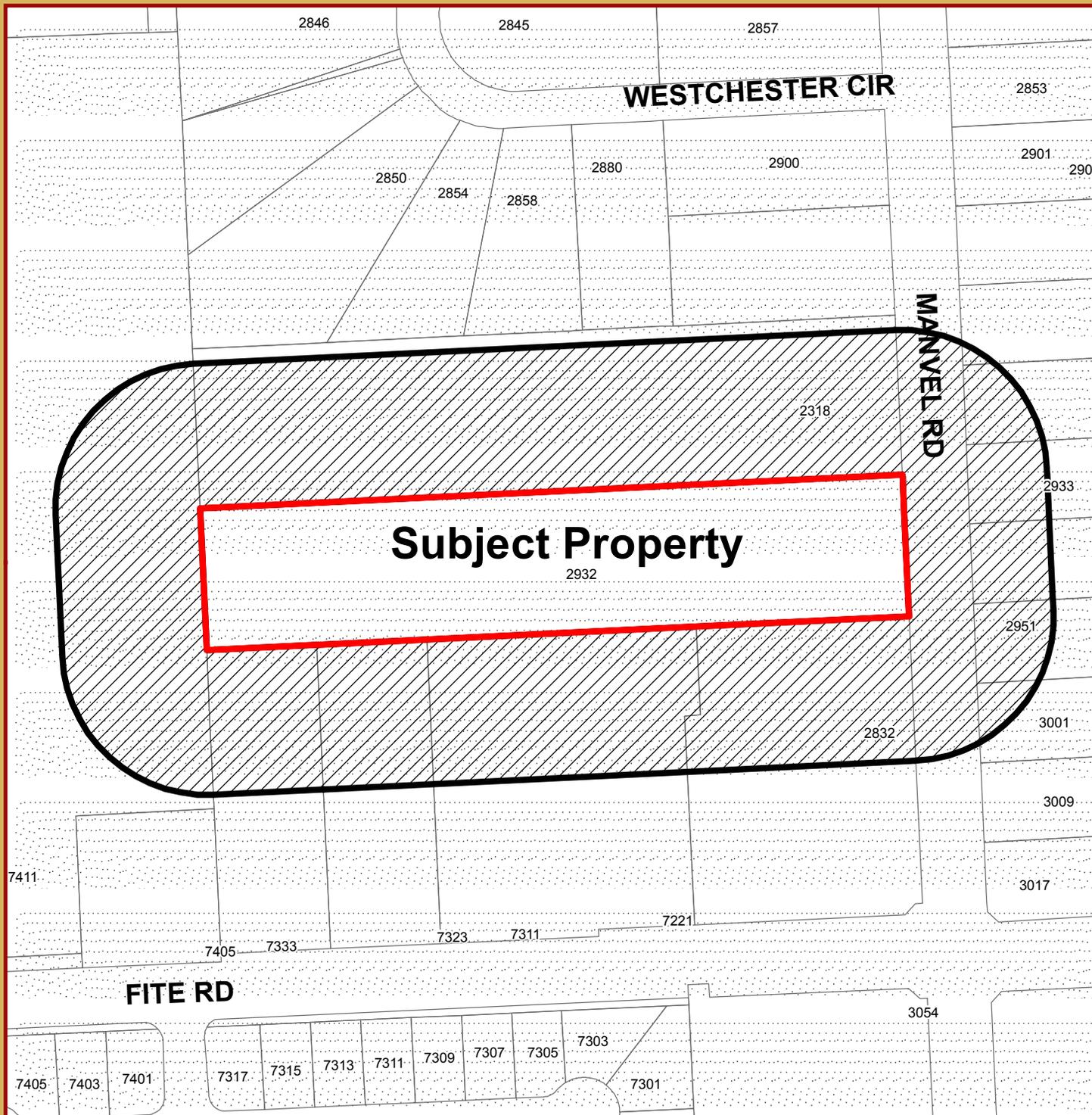


Exhibit 4

NOTIFICATION MAP

CUP 16-00009

2932 Manvel Road



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1 inch = 200 feet

OCTOBER 2016
PLANNING DEPARTMENT

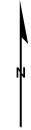


Exhibit 5

CUP 16-00009

Property_Owner	Address	City	State	Zip_Code
DOLAN EUGENE	3849 AUBRELL RD	PEARLAND	TX	77584
HAWK WILLIAM F	PO BOX 824	ROSHARON	TX	77583
MILLER JERRY A & WANDA M	4819 CHANTILLY LN	HOUSTON	TX	77092
MONTIGNY CORPORATION	2626 LANDERA CT	PEARLAND	TX	77584
PEPIN ARNE W & CONSTANCE M	2933 MANVEL RD	PEARLAND	TX	77584
PHE-1128 PARTNERS LTD				
ROSA JOSE DAVID	11410 SHARPVUE DR	HOUSTON	TX	77072
SIGNATURE EUBANKS & ASSOCIATES	9337B KATY FREEWAY #377	HOUSTON	TX	77024
SLAFKA CYRIL M	709 PINEY RIDGE DR	FRIENDSWOOD	TX	77546

City of Pearland
Community Development
3523 Liberty Drive
(Community Center)
Pearland, Texas 77581
281-652-1768
281-652-1702 fax
www.cityofpearland.com



APPLICATION FOR A CONDITIONAL USE PERMIT (CUP)

Tool and Machinery Rental with Outdoor Storage
~~Logistics Trucking Company~~
(list proposed use from the Table of Uses of the UDC)

Conditional Use Permit Request for:

Current Zoning District: General Commercial

Property Information:

Address or General Location of Property: 2932 Manvel Rd.

Tax Account No. 02420018000

Subdivision: _____ Lot: _____ Block: _____

A complete application must include all information shown on the Application Checklist attached to this application.

PROPERTY OWNER INFORMATION:

NAME ARNE PEPIN
ADDRESS 2933 Manvel Rd
CITY Pearland STATE TX ZIP 77584
PHONE (281) 684-4382
FAX () _____
E-MAIL ADDRESS pearlandbmx@yahoo.com

APPLICANT/AGENT INFORMATION:

NAME BO FABER
ADDRESS 2734 Sunrise Blvd, Ste 208
CITY Pearland STATE TX ZIP 77584
PHONE (281) 840-2048
FAX (832) 201-8309
E-MAIL ADDRESS bfaber@kwcommercial.com

*Property owner must be the current owner of the property at the time of submittal of the application, and not the party that has the property under contract.

As owner and applicant, I hereby request approval of the above described request as provided for by the Unified Development Code of the City of Pearland.

Owner's Signature: [Signature] Date: 10-17-16

Agent's/
Applicant's Signature: [Signature] Date: 10/31/16

OFFICE USE ONLY:

FEES PAID:	DATE PAID:	RECEIVED BY:	RECEIPT NUMBER:
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Application No. CUP 16-00009



October 31, 2016

City of Pearland
Planning Department
3519 Liberty Dr.
Pearland, Texas 77581
(281) 652-1740

RE: Letter of Intent to request Conditional Use Permit (CUP) to for the General Commercially Zoned (tool and machinery rental with outdoor storage) property located at 2932 Manvel Road, 4.69 acres, being Lot 4 242 H T & B, in Pearland, Texas 77581.

To Whom It May Concern,

Central Pony Express desires to purchase the property located at 2932 Manvel Rd. to serve as their Southeastern Hub. The 4.69 acres will be used to facilitate and store their empty hauling trailers in between deliveries.

The existing structures and BMX track will be removed and the property will be improved in accordance of The City of Pearland UDC, executed contract and attached site plan per city approval. Please feel free to contact me if you have any questions or require any further information.

Kind Regards,

Bo Faber
KW Commercial
(281) 670-1844
bfaber@kwcommercial.com

KELLER WILLIAMS® HOUSTON PREFERRED
2734 Sunrise Blvd. Pearland, Texas 77584
Office (281) 670-1844 • Fax (832) 2018309
www.kwcommercial.com
AN INDEPENDENT MEMBER BROKER

2932 MANVEL RD



1:2,400
1 inch = 200 feet



NORTH
This product is for informational purposes only and may not be prepared or be suitable for legal, engineering, or surveying purposes.

MAP PREPARED OCTOBER 13, 2016
GIS DEPARTMENT



- Any other information which may be requested by the Planning Department to fully evaluate and review the application and the potential impact of a proposed tower or antenna.

h. Posting of Notification Signs on Property Under Consideration for a Conditional Use Permit (CUP)

Any person, firm or corporation requesting a zoning change, a conditional use permit (CUP), or a variance shall be required to erect and maintain a sign(s), to be inspected by the City, upon the property for which a variance or zoning change has been requested.

Such sign(s) shall be located as follows:

1. One (1) sign per street frontage shall be located within thirty (30) feet of the abutting street, or as determined by the City.
2. So as to be clearly visible and readable from the public right-of-way and not obstructed in any manner.
3. So as not to create a hazard to traffic on the public rights-of-way abutting the property.
4. On the subject property at least ten (10) days prior to the hearing of such zoning change request by the Planning and Zoning Commission, and to remain continuously on said property until final action by the City Council or withdrawal of the case by the applicant. Removal of the sign by the applicant prior to a recommendation by the Planning and Zoning Commission and/or a final decision by the City Council shall constitute a withdrawal of the request.
5. The signs shall be as follows:
 - A minimum sign size of two (2) feet by three (3) feet, but no larger than four (4) feet by four (4) feet
 - At least two (2) feet above the ground
 - Blue or black lettering that is a minimum of 3 inches by ½ inch, on a white background
 - Message content as follows:

PROPOSED CUP
Contact City of Pearland
281.652.1765

Signs must be professionally made; handwritten signs are not allowed.

Signs must be freestanding and cannot be attached to a tree, fence, or building.

Conditional Use Permit (CUP)

RECEIVED 10-17-16
[Handwritten Signature]

TAX RECEIPT



RO'VIN GARRETT, PCC
BRAZORIA COUNTY TAX ASSESSOR - COLLECTOR
111 E. LOCUST
ANGLETON, TEXAS 77515

Certified Owner:

PEPIN ARNE W & CONSTANCE M
2933 MANVEL RD
PEARLAND, TX 77584-7541

Legal Description:

LT 4 242 H T & B, ACRES 4.690

Parcel Address: 2932 MANVEL RD FM 1128

Legal Acres: 4.6900

Remit Seq No: 32698714

Receipt Date: 10/14/2016

Deposit Date: 10/17/2016

Print Date: 10/14/2016 10:06 AM

Printed By: PEAR1

Deposit No: 1629180C

Validation No: 900000047355605

Account No: 0242-0018-000

Operator Code: PEAR1

Year	Tax Unit Name	Rec Type	Tax Value	Tax Rate	Levy Paid	P&I	Coll Fee Paid	Total
2016	Brazoria County	TL	220,048	0.397405	874.48	0.00	0.00	874.48
2016	Special Road & Bridge	TL	220,048	0.060000	132.03	0.00	0.00	132.03
2016	Pearland Isd	TL	220,048	1.415600	3,115.00	0.00	0.00	3,115.00
2016	Brazoria Drainage Dist 4	TL	220,048	0.146000	321.27	0.00	0.00	321.27
2016	City Of Pearland	TL	220,048	0.681200	1,498.97	0.00	0.00	1,498.97
					\$5,941.75	\$0.00	\$0.00	\$5,941.75

> - -

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Check Number(s):

PAYMENT TYPE:

Cash: \$5,941.75

Exemptions on this property:

Total Applied: \$5,941.75
Total Tendered: \$8,956.96
(for accounts paid on 10/14/2016)
Change Paid: \$0.00

PAYER:

PEPIN ARNE W & CONSTANCE M
2933 MANVEL RD
PEARLAND, TX 77584-7541

ACCOUNT PAID IN FULL



[Home](#)

[Map Gallery](#)

[City Map Book](#)

[GIS Data](#)

2932 MANVEL RD



Location

2932 MANVEL RD
PEARLAND, TX 77584

Key Map® Location: 614 N
Neighborhood:
County: Brazoria



City Limit Information

Within city limits: Yes
Annexation Number: 923
Annexation Date: Mon August 30, 1999



Trash, Recycle, Green Day

Trash Pickup: WEDNESDAY & SATURDAY

Recycle Pickup: Wednesday

Green Day: Wednesday



Voting Information

Voting Precinct: 62



Boundary Area

Subdivision:
School District: Pearland ISD
Drainage District: Brazoria Drainage Dist. 4
(Pearland)
Municipal Utility District: n/a
Plat:



Landuse

Land use : Retail, Offices and Services
Zone: GC

External Map Services

Appraisal Districts



- [Brazoria County Appraisal District](#)
- [Harris County Appraisal District](#)
- [Fort Bend Appraisal District](#)

[View Larger Map on Google Maps](#)

[View on Yahoo! Maps](#)

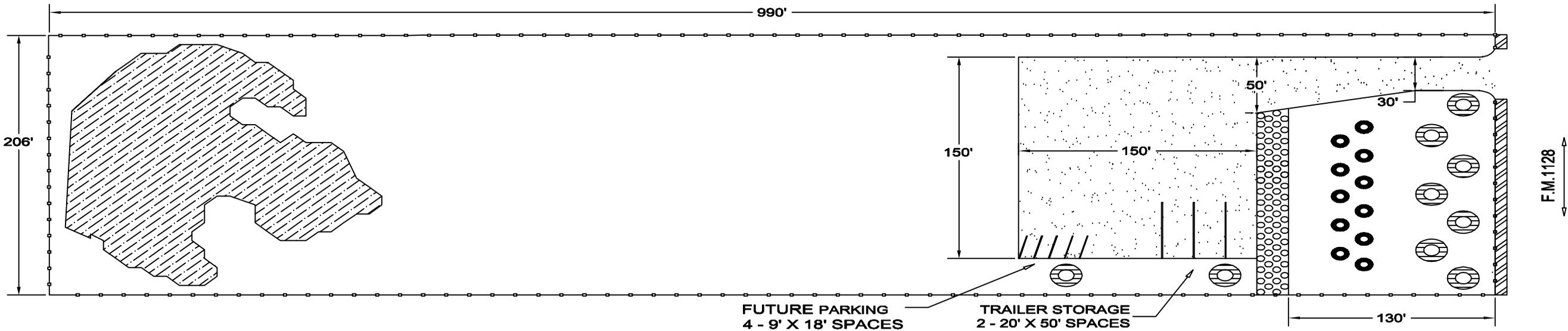
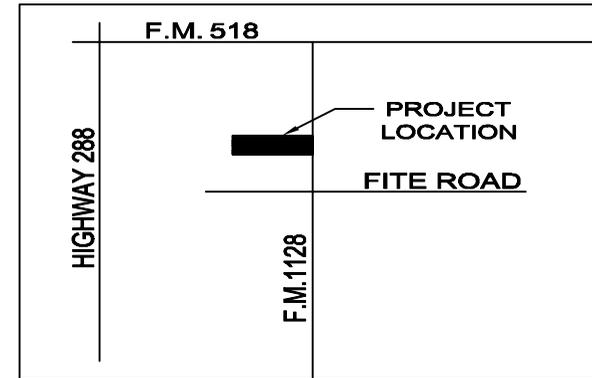
[View on MSN Maps](#)

[View on Mapquest](#)

2932 MANVEL ROAD PEARLAND, TEXAS 77581

TOTAL ACREAGE OF SITE = 990' X 206' (203,940 SF)

- | | |
|---|--|
| <ul style="list-style-type: none">  FUTURE ASPHALT DRIVE PER UDC STANDARD  DETENTION POND  EXISTING FENCE TO REMAIN | <p style="text-align: center; margin: 0;">LANDSCAPING DETAIL</p> <ul style="list-style-type: none">  LANDSCAPE BUFFER PER UDC STANDARD  9 - 3" CAL. LIVE OAK  11 - GULF COAST MUHLY  170 - WAX MYRTLE |
|---|--|





JOINT PUBLIC HEARING
THE CITY COUNCIL CITY AND THE PLANNING AND ZONING COMMISSION OF
THE CITY OF PEARLAND, TEXAS,
MONDAY, NOVEMBER 21, 2016, AT 6:30 P.M.
COUNCIL CHAMBERS - CITY HALL-3519 LIBERTY DRIVE

I. CALL TO ORDER

II. PURPOSE OF HEARING

Conditional Use Permit Application No. CUP 16-00010

A request of Jay Dorsey, applicant, on behalf of Trajan Properties, LLC., owner; for approval of a Conditional Use Permit to allow for a metal, machine, or wood shop and building material sales in the Garden/O'Day-Mixed Use (G/O-MU) zoning district; on approximately 0.63 acres of land.

Legal Description: Being a tract of land containing 0.63 acres (27,500 square feet) and being known as Lot 9, Block 3 of Hickory Creek Subdivision as recorded in Volume 11, Page 1 of the Brazoria County Map Records.

General Location: 2106 O'Day Road, Pearland, TX.

III. APPLICATION INFORMATION AND CASE SUMMARY

- A. STAFF REPORT
- B. APPLICANT PRESENTATION
- C. STAFF WRAP UP

IV. PERSONS WISHING TO SPEAK FOR OR AGAINST THE PROPOSED REQUEST

V. COUNCIL/PLANNING COMMISSION/STAFF DISCUSSION

VI. ADJOURNMENT

This site is accessible to disabled individuals. For special assistance, please call Young Lorfing, City Secretary, at 281-652-1655 prior to the meeting so that appropriate arrangements can be made.



Staff Report

To: City Council and Planning and Zoning Commission

From: Planning Department

Date: November 21, 2016

Re: Conditional Use Permit Application No. CUP 16-00010

A request of Jay Dorsey, applicant, on behalf of Trajan Properties, LLC., owner; for approval of a Conditional Use Permit to allow for a metal, machine, or wood shop and building materials sales in the Garden/O'Day-Mixed Use (G/O-MU) zoning district; on approximately 0.63 acres of land.

General Location: 2106 O'Day Road

Summary of Request

This request is for approval of a Conditional Use Permit (CUP) to allow a metal, machine, or wood shop and building materials sales uses within the Garden/O'Day – Mixed Use (G/O-MU) Zoning District. The applicant is proposing to use the existing 4,000 square foot metal structure on the building to house a machine shop and associated outdoor sales of building materials not open to the general public. This proposal would increase the safety of the facility with an improved fence and increase the general aesthetics with new landscaping. The last use of the facility was for Roy Shugart Glass and Mirror; a company which specialized in custom glass and window repair. The property was previously approved for a CUP for an Auto Repair (major) facility in March of 2014. The improvements which City Council required with the approval of that CUP were never enacted and the use was not established on the lot.

Due to the proposed use, the site would have to provide adequate parking spaces and associated landscaping along the front. This CUP will allow the applicant to keep the existing metal façade and not replace it with masonry.

Recommendation

Staff recommends approval of the requested CUP, with conditions, to allow for metal, machine, or wood shop and a building material sales on the approximately 0.63 acre site for the following reasons:

1. It is not anticipated that the proposed use will have any significant negative impacts on surrounding developed properties, as a result of the requirements of the UDC as well as the conditions recommended by staff.

2. The proposed use meets the criteria of approval for a Conditional Use Permit, will conform to the UDC as well as the Future Land Use Designation of the Comprehensive Plan.
3. The proposed use and improvements to the site will result in an enhanced property that otherwise would remain as is.

Recommended conditions:

1. Add a note on the site plan that no outside storage in the 30' buffer along the western property line, abutting residential.
2. All applicable requirements of the UDC shall be met. Prior to First Reading, a revised site plan is required which illustrates all the conditions.
3. Exempt the requirement for façade.

Site History

The site is currently developed with an approximately 4,000 square-foot office/warehouse building. The parking surface is a combination of gravel, asphalt, and concrete. The existing building was constructed in 1993. According to City records, the most recent occupant of the building was Roy Shugart Glass and Mirror; a company which specialized in custom glass and window repair. The glass and window repair company occupied the building from August, 2004 to November, 2012.

Prior to the adoption of the UDC in 2006, the subject property was located within the Commercial (C) zoning district, contained in the Urban Land Use and Development Ordinance. With the adoption of the UDC, the site was rezoned from C to G-O/MU, which allows a number of commercial and some industrial uses by Conditional Use Permit.

In 2014, a CUP was applied for and granted to allow the Auto Repair (Major) use with conditions. These conditions included replacing the existing fence to meet the UDC requirements, not allowing junk vehicles on the property, not allowing outside vehicle repair, replacing the parking surface to meet UDC requirements, changing landscaping and screening to conform to the UDC.

The site is bounded by G/O-MU to the north, south, and east; and Single-Family Residential – 1 (R-1) to the west. The below table identifies surrounding uses and zoning districts:

	Zoning	Land Use
North	Garden/O'Day – Mixed Use (G/G-MU)	Light Industrial Warehouse
South	Garden/O'Day – Mixed Use (G/G-MU)	Survey Office
East	Garden/O'Day – Mixed Use (G/G-MU)	Single Family Residential
West	Single-family Residential-1 (R-1)	Single Family Residential

Conformance with the Comprehensive Plan

The current zoning is in conformance with the Future Land Use Plan (FLUP). FLUP designates this property as “Garden/O’Day Mixed Use” which is designated to support the G/O-MU zoning district. The G/O-MU zoning district is intended to provide a district that allows for the continuation light industrial land uses that have existed in the district while also respecting the residential uses that have developed and now coexist with the nonresidential uses.

The Comprehensive Plan recommends for industrial and commercial uses to be located away from residential areas or at least provide for a buffer between them. In this case, if all the UDC requirements are met, the proposed use would be in conformance with the comprehensive plan, since the purpose is to foster the mixing of existing uses.

Conformance with the Thoroughfare Plan

The subject property is located along O’Day Road. According to City records, O’Day Road is a Secondary Thoroughfare to be widened. Secondary thoroughfares are defined as having a minimum right-of-way of 100 feet.

Conformance with the Unified Development Code

The property is currently developed. The applicant does not intend to make any changes to the property and will use the existing structure. At this time the existing property is not in conformance with the UDC. The below table and following descriptions illustrate improvements required based on this CUP:

Trigger	Façade	Sidewalks	Parking	Landscaping	Screening/Fencing
For this CUP			X	X **	X *

* Residential adjacency buffer to remain

** Parking lot landscaping

- **Façade Requirements:** Currently, this development will require a façade that is 100% masonry or glass. However, the façade requirements are recommended to be exempt from such compliance upon issuance of a conditional use permit.
- **Parking Requirements:** Parking spaces must be provided based on the minimum number required and parking design standards. Currently, no formal parking exists on the site. The parking area is paved but not stripped. The requirements for a metal, machine or wood shop facility is one space per 500 square feet of gross floor area while the portion of the building designated for office use is one space per 300 square feet of gross floor area. The submitted site plan for the proposed use shows 1,000 square feet of office, 500 square feet of work shop, and the remaining designated for accessory storage. Based on the submitted site plan, the proposed use is required to have five (5) parking spaces that can be accommodated in the existing paved area.

- Landscaping requirements: 15% of the total gross lot area is required to be landscaped. The site meets this requirement. This property will require a minimum of four - 2" caliper trees. The site has mature trees that will be eligible for credits towards required landscaping. Shrubs shall be required as parking lot screening.
- Screening requirements: The site is directly adjacent to a single family subdivision to the west and east. Screening/buffer is required between the proposed use and the abutting single family subdivision to the west. The required 30-foot wide buffer exists on site.

The lot requirements of the proposed G/O-MU zoning district are provided in the following table.

Garden/O'Day – Mixed Use (G/O-MU) Area Regulations		
Size of Lot	Required	Proposed
Minimum Lot Size	6,000 sq. ft.	Approximately 27,500 sq. ft.
Minimum Lot Width	60 ft.	Approximately 125 ft.
Minimum Lot Depth	100 ft.	Approximately 220 ft.

Platting Status

The subject property currently platted as Hickory creek Place, Block 3, Lot 9.

Availability of Utilities

The subject property has access to City water and sanitary sewer infrastructure. A 16-inch water line exists along the west side of O'Day Road. An 8-inch sanitary sewer line runs along the west side of O'Day Road and a 24-inch line along the east side of the road.

Impact on Existing and Future Development

The proposed conditional use permit would not have a negative impact on the surrounding development, and will be an improvement, if the requirements of the UDC are met. Much of the surrounding area is built out with single family homes. Few vacant properties are left to be developed in the immediate area and the intent of the zoning in this district is to foster a mix of light industrial, office, retail, and residential uses.

Additional Comments

The request has been reviewed by the City's Development Review Committee (DRC), and there were no additional comments from other departments at the time of this report.

Public Notification

Staff sent public notices, comment forms and a vicinity map to the applicant, the owner of the property and to property owners within 200 feet of the subject property under consideration for the zone change. Additionally, a legal notice of the public hearing was published in the local newspaper, and a notification sign was placed on the property by the applicant.

Opposition to or Support of Proposed Request

Staff has not received any returned notices in opposition to or in support of the proposed change in zoning request.

Exhibits

1. Aerial Map
2. Zoning Map
3. Future Land Use Map
4. Notification Map
5. Notification List
6. Applicant Packet



Exhibit 1

AERIAL MAP

CUP 16-00010

2106 O'Day Road



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

1 inch = 93 feet

OCTOBER 2016
PLANNING DEPARTMENT



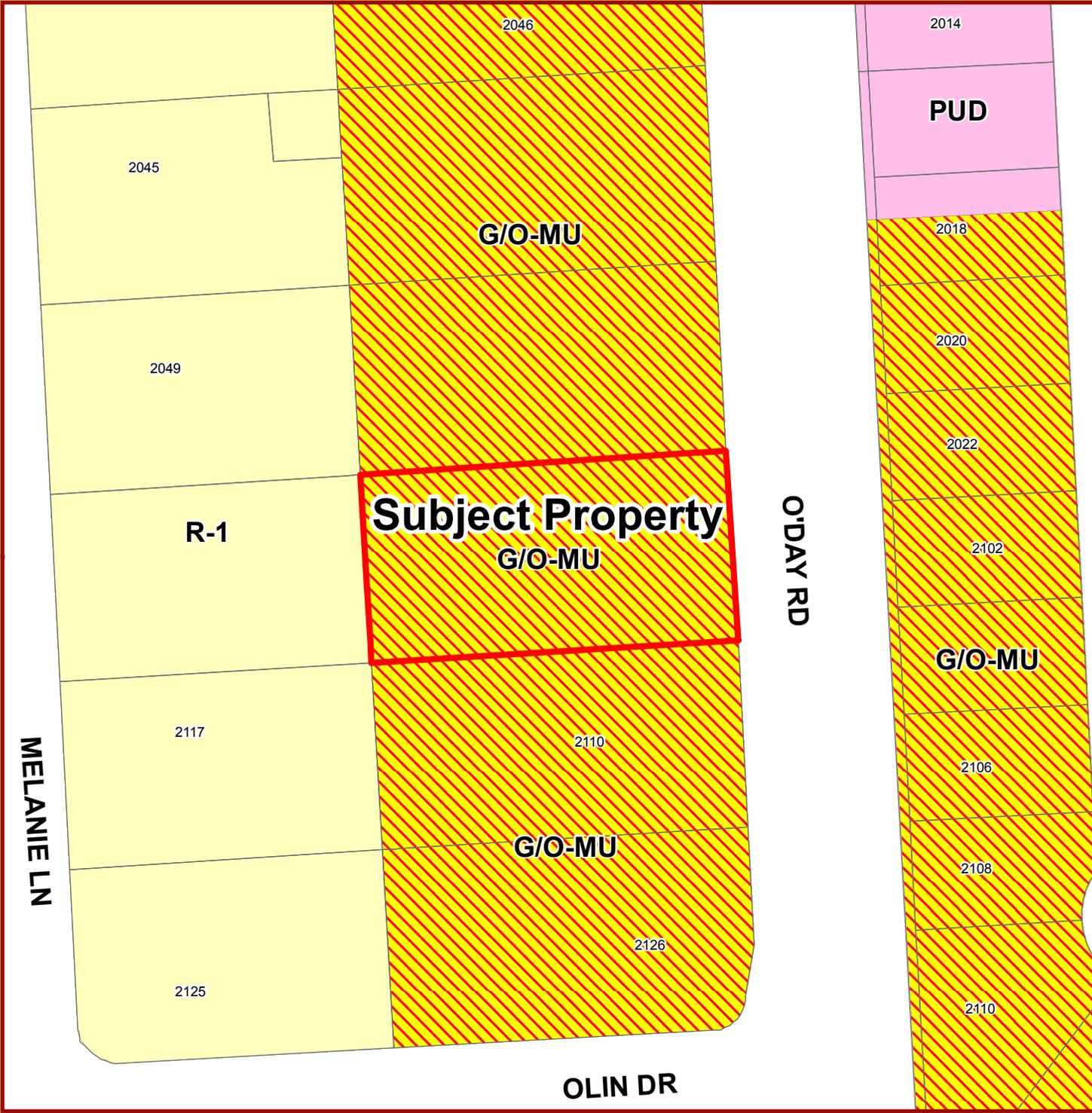


Exhibit 2

ZONING MAP

CUP 16-00010

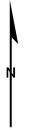
2106 O'Day Road



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

1 inch = 93 feet

OCTOBER 2016
PLANNING DEPARTMENT



OLIN DR

Exhibit 3

FLUP MAP

CUP 16-00010

2106 O'Day Road



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

1 inch = 93 feet

OCTOBER 2016
PLANNING DEPARTMENT

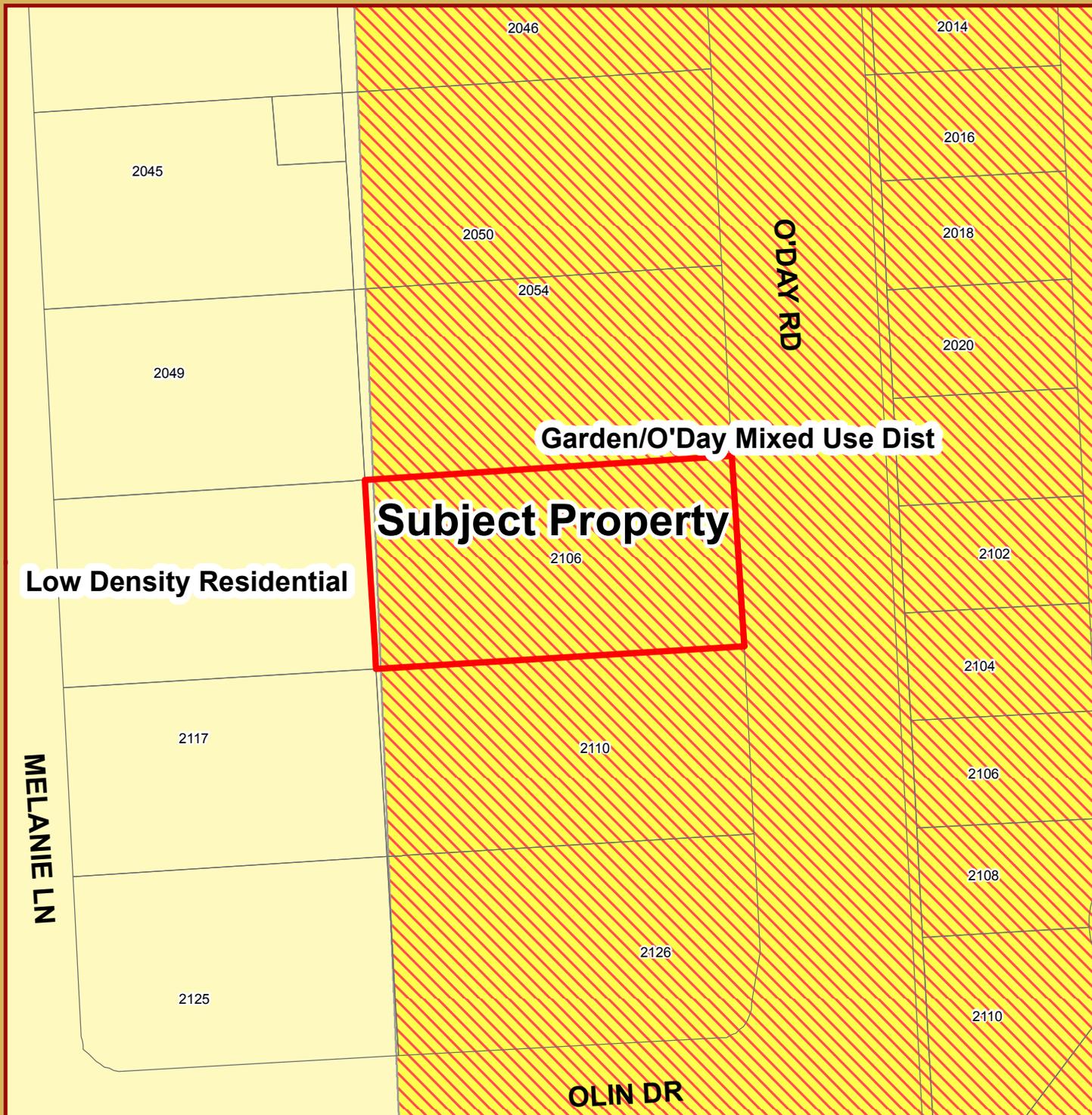
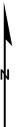


Exhibit 4

NOTIFICATION MAP

CUP 16-00010

2106 O'Day Road



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

1 inch = 93 feet

OCTOBER 2016
PLANNING DEPARTMENT

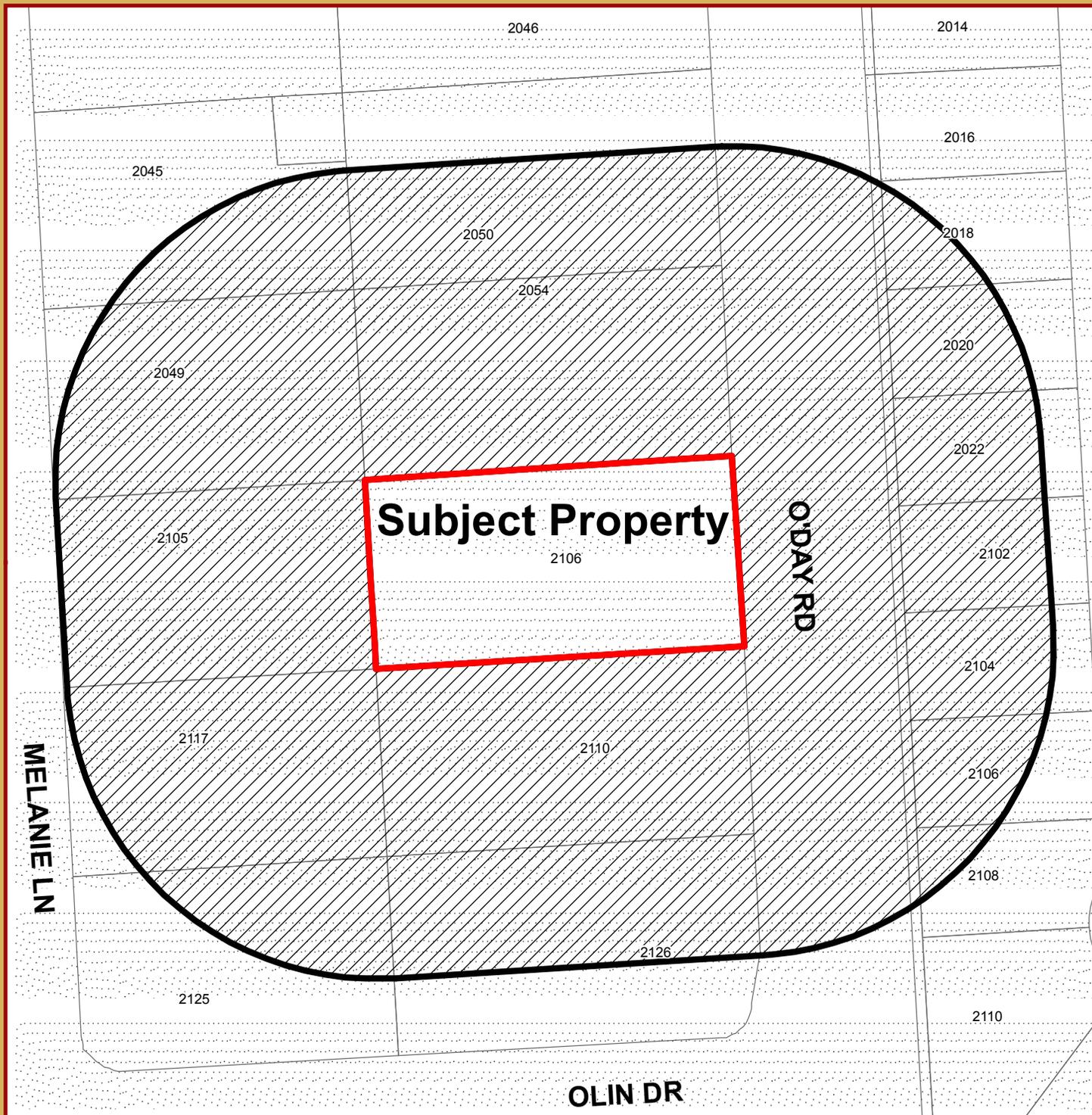


Exhibit 5

CUP 16-00010

Property_Owner	Address	City	State	Zip_Code
BARNES RALPH W JR	2049 MELANIE LN	PEARLAND	TX	77581
BENAVIDES LAMBERTO JR & YANIRA	2106 PLUM GROVE LN	PEARLAND	TX	77581
BRESEE WALTER & GLENDA	2105 MELANIE LN	PEARLAND	TX	77581
GONZALEZ JOSE ALFREDO & MARISA ALCANTARA	2046 O'DAY RD	PEARLAND	TX	77581
HOPKINS MELVIN	2108 PLUM GROVE LN	PEARLAND	TX	77581
JONES CECIL H JR	2018 PLUM GROVE LN	PEARLAND	TX	77581
JONES STANLEY	2125 MELANIE LN	PEARLAND	TX	77581
KURTH JAMES CARMON & JULIA	2022 PLUM GROVE LN	PEARLAND	TX	77581
LEACH JAMES F & PAULA S	PO BOX 1225	PEARLAND	TX	77588
LEGE RODNEY	2102 PLUM GROVE LN	PEARLAND	TX	77581
MARTINEZ OSCAR J & NELDA	2126 ODAY RD	PEARLAND	TX	77581
MCCRACKEN MYRNA LEE	2045 MELANIE LN	PEARLAND	TX	77581
MORTON KEVIN T	405 RANCHO CIR	FRIENDSWOOD	TX	77546
MORTON MICHAEL D & ELIZABETH C	PO BOX 410	PEARLAND	TX	77588
RAMBARAN JESSICA L	2020 GROVE LN	PEARLAND	TX	77581
RATCLIFF JOHN C	4803 ARROWHEAD LAKE DR	MISSOURI CITY	TX	77459
TRAJAN PROPERTIES LLC	2206 O'DAY RD	PEARLAND	TX	77581
VILLAGE GROVE HOMEOWNER ASSN INC % ACMI	12603 LOUETTA RD STE 101	CYPRESS	TX	77429
VO KEN VAN & MY-DUC THI HUYNH	2104 PLUM GROVE LN	PEARLAND	TX	77581



APPLICATION FOR A CONDITIONAL USE PERMIT (CUP)

City of Pearland
Community Development
3523 Liberty Drive
(Community Center)
Pearland, Texas 77581
281-652-1768
281-652-1702 fax
www.cityofpearland.com

Conditional Use Permit Request for: Machine Shop and/or Building Material sales
(list proposed use from the Table of Uses of the UDC)

Current Zoning District: G/O-MU

Property Information:

Address or General Location of Property: 2106 O'Day Rd. Pearland, TX 77581

Tax Account No. 4860-0025-000

Subdivision: Hickory Creek Place Lot: 9 Block: 3

**A complete application must include all information shown on the
Application Checklist attached to this application.**

PROPERTY OWNER INFORMATION:

NAME Trajan Properties LLC.
ADDRESS 2206 O'Day Rd.
CITY Pearland STATE TX ZIP 77581
PHONE(281) 485-4700
FAX(281) 485-7722
E-MAIL ADDRESS j.dorsey@triadrc.com

APPLICANT/AGENT INFORMATION:

NAME Triad Construction, Inc. (Jay Dorsey)
ADDRESS 2206 O'Day Rd.
CITY Pearland STATE TX ZIP 77581
PHONE(281) 485-4700
FAX(281) 485-7722
E-MAIL ADDRESS j.dorsey@triadrc.com

*Property owner must be the current owner of the property at the time of submittal of the application, and not the party that has the property under contract.

As owner and applicant, I hereby request approval of the above described request as provided for by the Unified Development Code of the City of Pearland.

Owner's Signature: Date: 25, October 2016
Agent's/
Applicant's Signature: Date: 25 October 2016

OFFICE USE ONLY:

FEES PAID:	DATE PAID:	RECEIVED BY:	RECEIPT NUMBER:
------------	------------	--------------	-----------------

Application No.

APPLICATION CHECKLIST FOR THE FOLLOWING Conditional Use Permits (CUP)

- Application, filled out completely, and signed by the owner of the property to be considered for the conditional use permit.
- If the applicant is the designated agent, the application shall include a written statement from the property owner authorizing the agent to file the application on his behalf. **Section 1.2.1.1 (a) of the Unified Development Code.**
- Metes and Bounds Description, (Survey, or a Plat of the property that contain the metes and bounds description).
- Parcel map, printed from the City of Pearland website, indicating the location and boundaries of the subject property.
- Letter of Intent, explaining the conditional use permit request in detail, specifying proposed uses, specific operations of the use, square footage of buildings, unique characteristics of the property, and any other necessary information
- Application fee of \$250.00, by cash, check made payable to the City of Pearland, or credit card (Visa and MasterCard only)
- Site Plan or Plot Plan showing the proposed layout of the subject property, including any proposed buildings, parking, landscaped areas, detention ponds, fences, and any other relevant information
- Acknowledgement of the sign to be posted on the property 10 days prior to the public hearing
- Provide evidence or proof that all taxes and obligations have been paid regarding the subject property.
- Application packets that are not **complete** will not be accepted. **When a completed application packet has been accepted and reviewed, additional information may be required by staff as a result of the review, it may be necessary to postpone the proposed CUP/Zone Change and remove it from the scheduled agenda and place it on a future agenda date according to Section 1.2.1.2. of the Unified Development Code.**

Additional Application requirements for Telecommunications Towers, Antennas, and Shared Use on Existing Towers and Alternate Structures to be provided per Section 2.5.5.2 of the current Unified Development Code:

- An inventory of the applicant's existing towers that are either within the City or within one mile of the corporate limits, specifying the location, height, and design of each tower. The Planning Department may share the information with other applicants for a conditional use permit under this article.
- Site plans to scale specifying the location of tower(s), transmission building and other accessory uses, street access, parking, fences, landscaped areas, and adjacent land uses.
- A report from a professional structural engineer licensed in the State of Texas documenting the following:
 - a. Tower height and design, showing a cross-section of the tower structure.
 - b. Total anticipated capacity of the tower structure, including the number and types of antennas which can be accommodated.
- A letter of intent to lease excess space on the tower and to lease additional excess land on the tower site when the shared use potential of the tower is absorbed, if structurally and technically possible.
- Each applicant must make a good faith effort to substantially demonstrate that no existing towers could accommodate the applicant's proposed antenna by doing the following:
 - a. The applicant must contact the owners of all existing towers of a height roughly equal to or greater than the height of the tower proposed by the applicant. A list must be provided of all owners contacted, the date of the contact, and the form and content of the contact. Where an existing tower is known to have capacity for additional antennas of the sort proposed, that application for a new tower is not complete until the owner of the existing tower responds, unless the applicant submits sufficient information for the Planning Department to determine that all reasonable efforts to obtain a response have been made and further efforts would be futile.
 - b. The applicant must request the following information from each tower owner contacted:
- Identification of the site by location, existing uses, and tower height.
- Whether each tower could structurally accommodate the antenna proposed by the applicant without requiring structural changes be made to the tower. To enable the owner to respond, the applicant must provide each owner with the height, length, weight, and other relevant data about the proposed antenna.

- Whether each tower could structurally accommodate the proposed antenna if structural changes were made, not including totally rebuilding the tower. If so, the owner must specify in general terms what structural changes would be required.
- If structurally able, would shared use by the existing tower be precluded for reasons related to RF interference. If so, the owner must describe in general terms what changes in either the existing or proposed antenna would be required to accommodate the proposed tower, if at all.
- Any other information which may be requested by the Planning Department to fully evaluate and review the application and the potential impact of a proposed tower or antenna.



2206 O'Day Road | Pearland Texas, 77581 | Office: 281.485.4700 | Fax:
281.485.7722

18 October 2016

ATTN: Community Development

3519 Liberty Dr.

Pearland, TX. 77581

RE: Conditional Use Permit Request: 2106 O'Day Rd. Pearland, Tx 77581

To whom it may concern:

The Purpose of this letter is to provide the required information for a Conditional Use Permit Application.

- The intended use of this property is a machine shop &/or Building Material Sales.
- The operations that will be performed on this property will be storage of materials and fabrication of construction items such as steel, sheet metal, and wood which is allowed under Zoning regulations section 2.4.3.3(j).
- Square footage of property: 27,500 sq. ft.
- Square footage of building: 4000 sq. ft.
- Unique characteristics: Not Applicable.

Triad acknowledges Section 1.2.2.4 that states that a sign to be posted on the property 10 days prior to the public hearing.

Sincerely,

J. Guadalupe Miranda

METES and BOUNDS

2106 O'DAY ROAD

BEING a tract of land containing 0.63 acres (27,500 sq. feet) and being known as Lot 9, Block 3 Of Hickory Creek Place Subdivision as recorded in Volume 11, Page 1 of the Brazoria County Map Records, and being more particularly described by metes and bounds as follows;

BEGINNING at a 5/8" iron rod found in the West Right-of-Way line of O'Day Road and marking the common corner of Lots 8 and 9 of said Hickory Place Subdivision;

THENCE West along the common line of said Lots 8 and 9, a distance of 220.00 feet to a 1/2" iron for the Southwest corner of said Lot 9;

THENCE North along the West line of Lot 9 a distance of 125.00 feet to a 1/2" iron rod found for the Northwest corner of said Lot 9;

THENCE East, along the common line of Lots 9 and 10 of said Hickory Creek Place Subdivision a distance of 220.00 feet to a 5/8" iron rod in the West line of O'Day Road marking the common corner of Lots 9 and 10;

THENCE South along the West line of O'Day road a distance of 125.00 feet to the POINT OF BEGINNING and thus containing 27,500 square feet of land more or less.



A handwritten signature in black ink, appearing to read "M. D. Morton", located below the surveyor's seal.

SURVEY

This property is located in the 100 year flood plain & is in insurance rate map zone 26 as per map 491395 00301 dated 07-22-77

SCALE: 1" = 80'

LEGEND

- R.O.W. - RIGHT OF WAY
- I.R. - IRON ROD
- FND. - FOUND
- o- - CHAIN LINK FENCE
- S.L. - BUILDING LINE
- R.O.W. - RIGHT-OF-WAY
- OP - POWER POLE
- U.E. - UTILITY EASEMENT
- A.E. - AERIAL EASEMENT
- B.C.O.R. - BRAZORIA COUNTY DEED RECORDS

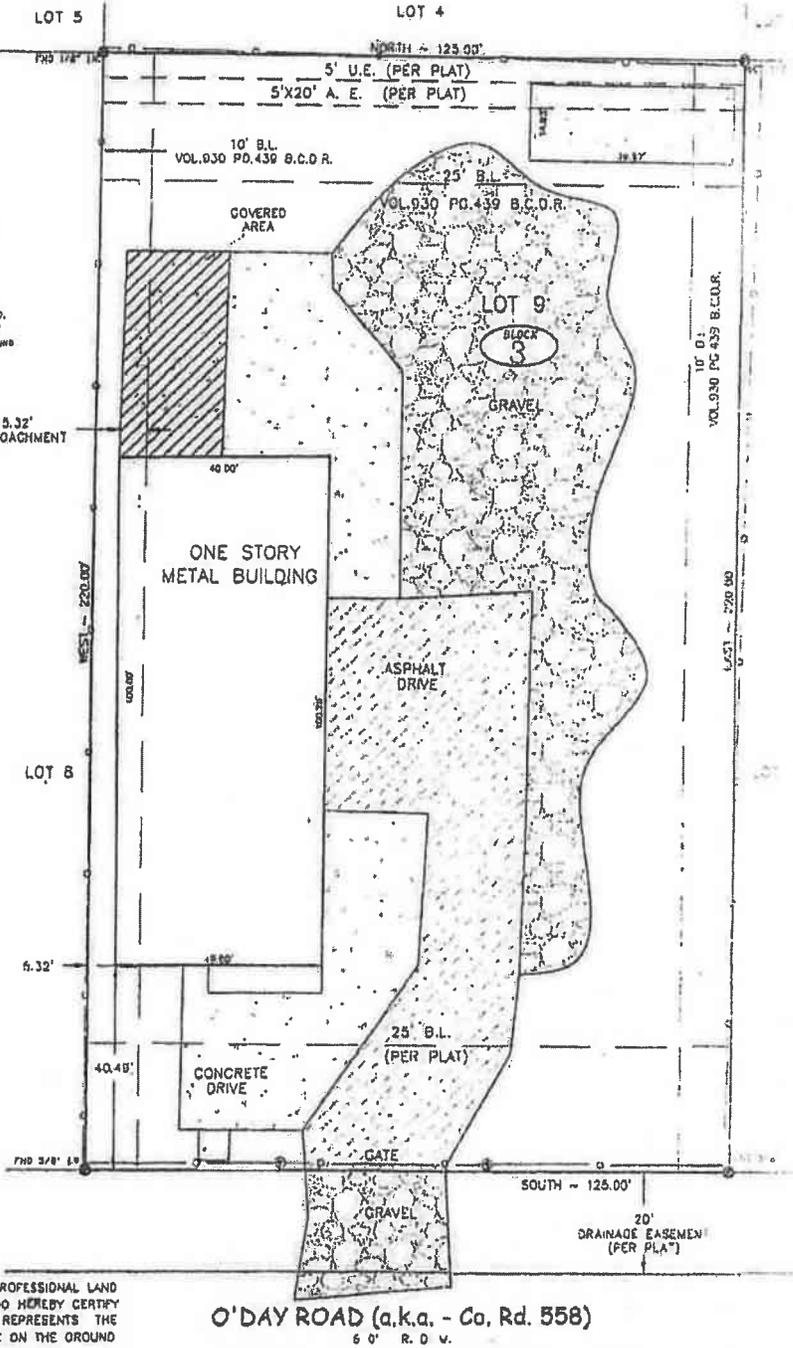
NOTES:
 1) BASIS FOR BEARINGS ASSUMED AS PLATTED.
 2) DISTANCES SHOWN ARE GROUND DISTANCES.
 3) ALL ABSTRACT DONE BY TITLE COMPANY.
 4) SURVEY BASED ON BEST OF EVIDENCE FOUND.



I, MICHAEL D. MORTON, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PLAT HEREON CORRECTLY REPRESENTS THE RESULTS OF AN ACTUAL SURVEY MADE ON THE GROUND UNDER MY DIRECTION AND THAT THERE ARE NO ENCROACHMENTS EXCEPT AS SHOWN.

DATED THIS 14 DAY OF May 2013

MICHAEL D. MORTON - R.P.L.S. NO. 3666



THIS CERTIFICATION IS REVOKED AND THIS SURVEY IS NULL AND VOID IF THIS DOCUMENT IS ALTERED IN ANY MANNER, USED OR RELIED UPON BY ANY ONE OTHER THAN THE PARTIES ADDRESSED BELOW, OR DOES NOT BEAR AN ORIGINAL SIGNATURE AND SEAL OF THE R.P.L.S. MICHAEL D. MORTON NO. 3666

SECTION	1	RANGE	2	COUNTY	WICKERY CREEK PLACE	STATE	TEXAS	
PLAT	VOLUME 11, PAGE 1 B.C.M.R.							
ADDRESS	2104 O'DAY ROAD		CITY	PEARLAND	ZIP CODE	77581	COUNTY	WARRANTS, N.A.
REGISTERED	MICHAEL D. MORTON		DATE	05-14-13	TITLE RESOURCES GUARANTEE CO			
PREPARED BY	JAMES F. LEACH		DATE	05-14-13	ARROW SURVEYING			
DATE	05-14-13		P.O. BOX 219 PEARLAND, TEXAS 77581		(409) 412-1284 (409) 412-2214			



3,139,730.025 13,773,736.633 Feet

1 : 1,200

All Rights Reserved



- Site plan showing the following:
 - Proposed layout of the subject property See Ahead
 - Proposed buildings See Ahead
 - Parking See AH
 - Landscape plan See AH
 - Detention ponds N/A
 - Fence See AH
 - Other relevant information (list here) N/A
- Acknowledgement of the sign to be posted on the property ten (10) days prior to the public hearing.
- Provide evidence or proof that all taxes and obligations have been paid regarding the subject property.
- Application fee, as determined below, by cash, check made payable to the City of Pearland, or credit card (Visa and MasterCard only). Please refer to the City's webpage www.pearlandtx.gov for updated fees.

Additional Application Requirements for Telecommunications Towers, Antennas, and Shared Use on Existing Towers and Alternate Structures per Section 2.5.5.2 of the Unified Development Code

- An inventory of the applicant's existing towers that are either within the City or within one mile of the corporate limits specifying:
 - Location
 - Height
 - Design

Note: This information may be shared by the Planning Department with other applicants.

- Site plan to scale specifying:
 - Location of tower(s)
 - Transmission building and other accessory uses
 - Street access
 - Parking
 - Fences
 - Landscaped areas
 - Adjacent land uses

FEE \$69.28

TAX CERTIFICATE
PROFESSIONAL RE TAX SERVICE

10720 W. SAM HOUSTON PKWY. N.~ STE. 200
 HOUSTON~TX 77064
 281-340-7846 FAX 281-340-7847

CUST: PROFESSIONAL RE TAX SERVICE BRANCH: 18
 ORDER: 49181603441 CLOSER: KC ORDER TYPE: A SUBTYPE: R DATE: 10/14/2016

CAD ACCOUNT NUMBER SUMMARY

4860-0025-000

SUMMARY OF ALL ACCOUNT(S)

	SUMMARY OF CURRENT YEAR		SUMMARY OF ALL TAXES DUE	
	TAX YEAR	BASE TAX	DUE 10/16	DUE 11/16
BRAZORIA CO/PAY TO: RO'VI	2015	326.01	0.00	0.00
CITY OF PEARLAND	2015	473.12	0.00	0.00
ISD - PEARLAND	2015	949.58	0.00	0.00
BC DRAINAGE DIST #4	2015	104.31	0.00	0.00
TOTAL TAX		1,853.02	0.00	0.00

******* COMMENTS ***** CAUTION ***** READ BEFORE CLOSING *******

BRAZORIA CO/PAY TO: RO'VIN - RATE INCLUDES COUNTY(.426) ROAD/BRIDGE(.0600)
 EXEMPTS: HS-20%; O65-100,000; DIS-100,000
 CITY OF PEARLAND - EXEMPTS: HS-2.5%/5,000; O65-40,000; DIS-40,000
 ISD - PEARLAND - EXEMPTS: HS-25,000; OVER65-13,800; DIS-10,000
 BC DRAINAGE DIST #4 - EXEMPTS: HS-20%; O65-75,000; DIS-75,000 BONDS APP
 ROVED:0; BONDS ISSUED: 0 BOND INFORMATION UPDATED
 12-1-10

CAD#	4860-0025-000	CPL DR4 GBC SPL
DESC	HICKORY CREEK PLACE (PEARLAND), BLOCK 3, LOT 9 ABST/SUB ID S4860	STT/SNG
SITUS	2106 ODAY RD CPL	DEED 2013-031219
MAIL	PO BOX 1225 PEARLAND TX 77588-1225	
ASSESSED OWNER(S)	LEACH JAMES F & PAULA S	2016 ASSESSED VALUES
		LAND 55,280
		IMPROVEMENT 11,800
CLASS CODE	F1 - COMMERCIAL REAL PROPERTY	TOTAL VALUE 67,080

TAX ENTITY INFORMATION

BRAZORIA CO/PAY TO: RO'VIN GARRETT, RTA	PAYMENTS AS OF		09/30/2016
111 E. LOCUST SUITE 100 ANGLETON, TX 77515-4682	15 TAX RATE		0.4860000
PHONE 281-756-1320	W/O EXEMPT		326.01
EXEMPTIONS NONE	YR	BASE TAX	BASE DUE
	15	326.01	0.00
			DUE 10/16
			DUE 11/16
	SUBTOTAL	326.01	0.00
			0.00

*** PAID 01/29/16 ***

**TAX CERTIFICATE
PROFESSIONAL RE TAX SERVICE**

10720 W. SAM HOUSTON PKWY. N.~ STE. 200
HOUSTON~TX 77064
281-340-7846 FAX 281-340-7847

CUST: PROFESSIONAL RE TAX SERVICE	BRANCH: 18			
ORDER: 49181603441	CLOSER: KC	ORDER TYPE: A	SUBTYPE: R	DATE: 10/14/2016

CITY OF PEARLAND	PAYMENTS AS OF	09/30/2016
------------------	----------------	------------

COLLECTED BY COUNTY	15 TAX RATE	0.7053000
PHONE 281-756-1320	W/O EXEMPT	473.12

EXEMPTIONS NONE	YR	BASE TAX	BASE DUE	DUE 10/16	DUE 11/16
	15	473.12	0.00		*** PAID 01/29/16 ***
	SUBTOTAL	473.12	0.00	0.00	0.00

ISD - PEARLAND	PAYMENTS AS OF	09/30/2016
----------------	----------------	------------

COLLECTED BY COUNTY	15 TAX RATE	1.4156000
PHONE 281-756-1320	W/O EXEMPT	949.58

EXEMPTIONS NONE	YR	BASE TAX	BASE DUE	DUE 10/16	DUE 11/16
	15	949.58	0.00		*** PAID 01/29/16 ***
	SUBTOTAL	949.58	0.00	0.00	0.00

BC DRAINAGE DIST #4	PAYMENTS AS OF	09/30/2016
---------------------	----------------	------------

COLLECTED BY COUNTY	15 TAX RATE	0.1555000
PHONE 281-756-1320	W/O EXEMPT	104.31

EXEMPTIONS NONE	YR	BASE TAX	BASE DUE	DUE 10/16	DUE 11/16
	15	104.31	0.00		*** PAID 01/29/16 ***
	SUBTOTAL	104.31	0.00	0.00	0.00

CONDITIONS, DISCLAIMERS AND EXCLUSIONS

This Tax Certificate/Tax Order Report does not constitute a report on or certification of: (1) mineral (productive and/or non-productive) taxes or leases; (2) personal property taxes; or (3) other non ad valorem taxes (such as paving liens, stand-by charges or maintenance assessments).

Data Trace Information Services LLC ("Data Trace") may have warranted the accuracy of this Tax Certificate/Tax Order Report to its customer (the "Data Trace Customer") pursuant to the terms and conditions of a written tax service agreement between Data Trace and said Data Trace Customer (the "Tax Service Agreement"). Any such warranty (hereinafter, "Data Trace Customer Warranty") does not: (a) extend to a third party bearer of this Tax Certificate/Tax Order Report; (b) cover any changes made to the records of the taxing authority after the "payments as of," "paid," or "payment" dates delineated above; and (c) cover any invalid tax information shown on the records of the taxing authority or resulting from an error by the Data Trace Customer (including, without limitation, submission of incorrect property information by said Data Trace Customer). DATA TRACE MAKES NO WARRANTIES (EXPRESS OR IMPLIED) WITH RESPECT TO THIS TAX CERTIFICATE/TAX ORDER REPORT OTHER THAN (WHERE APPLICABLE) THE DATA TRACE CUSTOMER WARRANTY. Any and all claims under a Data Trace Customer Warranty must be submitted to Data Trace by the corresponding Data Trace Customer and are subject to the terms and conditions set forth in the pertinent Tax Service Agreement (including, without limitation, the filing deadlines applicable to such claims). In some jurisdictions Data Trace's validation of a Tax Certificate/Tax Order Report is required to activate a Data Trace Customer Warranty.

PRINTED BY STT/BEC

HOA CERTIFICATE
PROFESSIONAL RE TAX SERVICE
 10720 W. SAM HOUSTON PKWY. N.~ STE. 200
 HOUSTON~TX 77064
 281-340-7846 FAX 281-340-7847

CUST: PROFESSIONAL RE TAX SERVICE	BRANCH: 18			
ORDER: 49181603441	CLOSER: KC	ORDER TYPE: A	SUBTYPE: R	DATE: 10/14/2016

SELLER LEACH JAMES F & PAULA S

BUYER TRAJAN PROPERTIES LLC

COUNTY BRAZORIA

SUBD NAME / BLK HICKORY CREEK PLACE

NO HOA FOUND FOR HICKORY CREEK PLACE

HOME PHONE (409) 485-1542

CONTACT JEAN BONDS,TREAS.

*** OUR RESEARCH DOES NOT INDICATE THE EXISTENCE OF AN ***

*** HOA. PLEASE VERIFY WITH YOUR TITLE REPORT. IF AN ***

*** HOA IS KNOWN, PLEASE CONTACT YOUR TAX SERVICE ***

SUMMARY OF ACCOUNT 4860-0025-000

DESC	HICKORY CREEK PLACE (PEARLAND), BLOCK 3, LOT 9 ABST/SUB ID S4860
SITUS	2106 ODAY RD CPL

CONDITIONS, DISCLAIMERS AND EXCLUSIONS

This HOA Certificate does not constitute a report on or certification of: (1) mineral (productive and/or non-productive) taxes or leases; (2) personal property taxes; or (3) other non ad valorem taxes (such as paving liens, stand-by charges or maintenance assessments).

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LOT 5

LOT 4

LOT 3

WOOD FENCE

NORTH 125.00'

WOOD FENCE

FND 1/2" I.R.

FND 1/2" I.R.

5' U.E. (PER PLAT)

5'x20 A.E. (PER PLAT)

25' B.L (VOL. 930, PG. 439 B.C.D.R.)

30' EXISTING LANDSCAPE BUFFER TO REMAIN AS IS (NO PARKING)

LOT 9

BLOCK 3

COVERED AREA

WOOD FENCE

10' B.L (VOL. 930, PG. 439 B.C.D.R.)

LOT 8

WEST 220.00'

LOT 10 EAST 220.00'

2,500 SF STORAGE

ONE STORY METAL BUILDING F.F.=51.95

ASPHALT DRIVE

WOOD FENCE

500 SF FAB

PARKING 5

1,000 SF OFFICE

PARKING 4

5'-3 3/4" ENCRoACHMENT

PARKING 1

PARKING 2

PARKING 3

6' WIDE LANDSCAPE STRIP

6' WIDE LANDSCAPE STRIP

FND 5/8" I.R.

FND 5/8" I.R.

DECORATIVE FENCING

DECORATIVE FENCING

FLOWLINE DITCH

20' DRAINAGE EASEMENT (PER PLAT)

TBM: R.R. SPIKE IN POWER POLE ELEV=52.13 P.P.

NEW CONCRETE APPROACH

O'DAY ROAD (a.k.a.- Co. Rd. 558) (60' R.O.W.)

EDGE OF ASPHALT

NOTES: 1. B2 2. A1 3. S1 FLOOR INSUR DATE PROP BENCI BRASS CITY LOCAT INTERI BLVD. ELEV. NOTE: BASEL COAST

LOT 9, A SUB



JOINT PUBLIC HEARING
THE CITY COUNCIL CITY AND THE PLANNING AND ZONING COMMISSION OF
THE CITY OF PEARLAND, TEXAS,
MONDAY, NOVEMBER 21, 2016, AT 6:30 P.M.
COUNCIL CHAMBERS - CITY HALL-3519 LIBERTY DRIVE

I. CALL TO ORDER

II. PURPOSE OF HEARING

Conditional Use Permit Application No. CUP 16-00011

A request of Richard Stockton, applicant, on behalf of Greenspace Holdings, LLC., owner; for approval of a Conditional Use Permit to allow for a mini-warehouse/self-storage in the General Business (GB) zoning district; on approximately 2.101 acres of land.

Legal Description: All of that Lot "A" and Lot "B", Block 1 in the Whispering Winds Subdivision, Section 2, an addition in the Thomas J. Green Survey, Abstract No. 198 as recorded in Volume 19, Pages 163-164 in the Plat Records of Brazoria County, Texas.

General Location: Approximately 323 feet northeast of the intersection of Westminster Road and Broadway Street.

III. APPLICATION INFORMATION AND CASE SUMMARY

- A. STAFF REPORT
- B. APPLICANT PRESENTATION
- C. STAFF WRAP UP

IV. PERSONS WISHING TO SPEAK FOR OR AGAINST THE PROPOSED REQUEST

V. COUNCIL/PLANNING COMMISSION/STAFF DISCUSSION

VI. ADJOURNMENT

This site is accessible to disabled individuals. For special assistance, please call Young Lorfing, City Secretary, at 281-652-1655 prior to the meeting so that appropriate arrangements can be made.



Staff Report

To: City Council and Planning and Zoning Commission

From: Planning Department

Date: November 21, 2016

Re: Conditional Use Permit Application No. CUP 16-00011

A request of Richard Stockton, applicant, on behalf of GreenSpace Holdings LLC, owner; for approval of a Conditional Use Permit to allow for mini-warehouse/self-storage in the General Business (GB) zoning district; on approximately 2.101 acres of land.

General Location: Westminster Road, north of Broadway Street

Summary of Request

This request is for approval of a Conditional Use Permit (CUP) to allow for development of a self-storage facility. The applicant is proposing a 136,632 gross square feet (102,896 net rentable square feet), 3-story self-storage facility with 985 units. Each of the storage units will be constructed of repurposed shipping containers. The outside appearance will look like a normal masonry building.

The subject property is an undeveloped parcel surrounded by a variety of commercial uses fronting on Broadway and Westminster Streets and transitioning to residential uses to the north. The proposed use is classified as mini-warehouse/self-storage, and this use is only permitted within business, commercial, or industrial districts with the approval of a CUP. The proposed use is not allowed within any zoning district by right.

Recommendation

Staff recommends approval of the CUP for mini-warehouse/self-storage on the approximately 2.101 acre site for the following reasons, with the conditions listed below. However, the current site plan is too dense and does not provide appropriate buffer for surrounding areas. Staff is not in support of the current site plan and recommends that the site plan be revised prior to the first reading of the ordinance:

1. The proposed CUP is compatible with the established residential and non-residential uses of the area. Self-storage facilities are often able to successfully utilize remainder tracts that are deemed less desirable by other retail, office or service uses, and act as a transitional buffer between the commercial and residential uses.

2. The applicant is not seeking any variances to the design requirements specified in the UDC, and proposes a 25-foot green space between the proposed building and the adjacent multi-family residential use. Site features such as a masonry wall and landscaping will further screen the proposed use from the apartments.
3. In 2006, the subject property was granted a CUP for self-storage, but that CUP is now expired. Conditions in the area have not changed significantly since the previous CUP was approved, and the proposed use is still deemed appropriate.

If the use is acceptable then staff recommends that a revised site plan addressing the following comments be submitted prior to the first reading of the ordinance.

1. Provide a 15-foot front wide landscaped strip along Westminster Street with enhanced landscaping (additional shrubs and ornamental trees). Provide a combination of trees and shrubs along the east and west property lines in a 6-foot wide landscaping strip. Provide a combination of trees and shrubs along the northern property line with a minimum 15-foot wide landscaped strip for a more effective buffer.
2. Resolve all conflicts between utility easements, drainage easements, and proposed landscaping and show these easements on the site plan.

Site History

The subject property is currently undeveloped and zoned GB District. The property is surrounded by a variety of uses including retail, office, and services businesses towards Broadway Street and residential uses towards the north along Westminster Road.

The site is bounded by MF (Multiple-Family Residential) District to the north, and GB (General Business) District to the east, south, and across Westminster Road to the west. The following table identifies surrounding uses and zoning districts.

	Zoning	Land Use
North	Multiple-Family Residential District (MF) General Business (GB)	Whispering Winds Apartments
South	General Business (GB)	Restaurant and Office
East	Multiple-Family Residential District (MF) General Business (GB)	Whispering Winds Apartments and Office Warehouse
West	General Business (GB)	Retail and Office Space

Conformance with the Comprehensive Plan

The Future Land Use Plan proposes retail, office, and service uses for this site. The 2015 Pearland Comprehensive Plan states that neighborhood retail and service uses should be located at intersections of thoroughfares or collector streets or at the edge of logical neighborhood areas unless appropriately placed within a planned development. The proposed self-storage facility is consistent with the proposed land use pattern for this area. The use is a relatively low-impact commercial use with respect to traffic, noise, and other potential nuisances, which makes it compatible with the existing

multifamily residential uses to the north as well as the established businesses surrounding the site.

Conformance with the Thoroughfare Plan

The subject property is located along Westminister Road. According to City records, Westminister Road is a Minor Collector Street of sufficient width. Minor Collectors are defined as having a minimum right-of-way of 60 feet.

Conformance with the Unified Development Code

The property is currently undeveloped. Most of the development meets the requirements of the UDC except for the landscaping as proposed on the site plan.

The lot requirements of the proposed GB District are provided in the following table.

General Business (GB) Area Regulations		
Size of Lot	Required	Proposed
Minimum Lot Size	22,500 sq. ft.	Approximately 91,527 sq. ft.
Minimum Lot Width	150 ft.	Approximately 300 ft.
Minimum Lot Depth	125 ft.	Approximately 304 ft.

Platting Status

The subject property is currently platted as Whispering Winds Section 2 Amending Plat. This plat was recently approved and recorded combining two lots into one.

Availability of Utilities

The subject property has access to City water and sanitary sewer infrastructure. A 10-inch water line exists along the east side of Westminister Road. A 6-inch sanitary sewer line also runs along the southern border of the property.

Impact on Existing and Future Development

The proposed CUP will not significantly impact surrounding properties or developments, if the conditions are met. Much of the area was developed in the mid-1980s, and this parcel has remained undeveloped. A self-storage facility is an appropriate development for this infill site because it does not require the high visibility and thoroughfare frontage that is often critical to the success of other types of businesses, and the low-impact nature of the use allows it to be compatible with the adjacent multifamily use.

Additional Comments

The City's Development Review Committee (DRC) has reviewed this request, and there were no additional comments from other departments at the time of this report.

Public Notification

Staff sent public notices, comment forms and a vicinity map to the applicant, the owner of the property and to property owners within 200 feet of the subject property under

consideration for the zone change. Additionally, a legal notice of the public hearing was published in the local newspaper, and a notification sign was placed on the property by the applicant.

Opposition to or Support of Proposed Request

Staff has not received any returned notices in opposition to or in support of the CUP request.

Exhibits

1. Aerial Map
2. Zoning Map
3. Future Land Use Map
4. Notification Map
5. Notification List
6. Applicant Packet



Exhibit 1

AERIAL MAP

CUP 16-00011

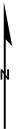
NE of Westminister Rd
and Broadway St



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

1 inch = 115 feet

OCTOBER 2016
PLANNING DEPARTMENT



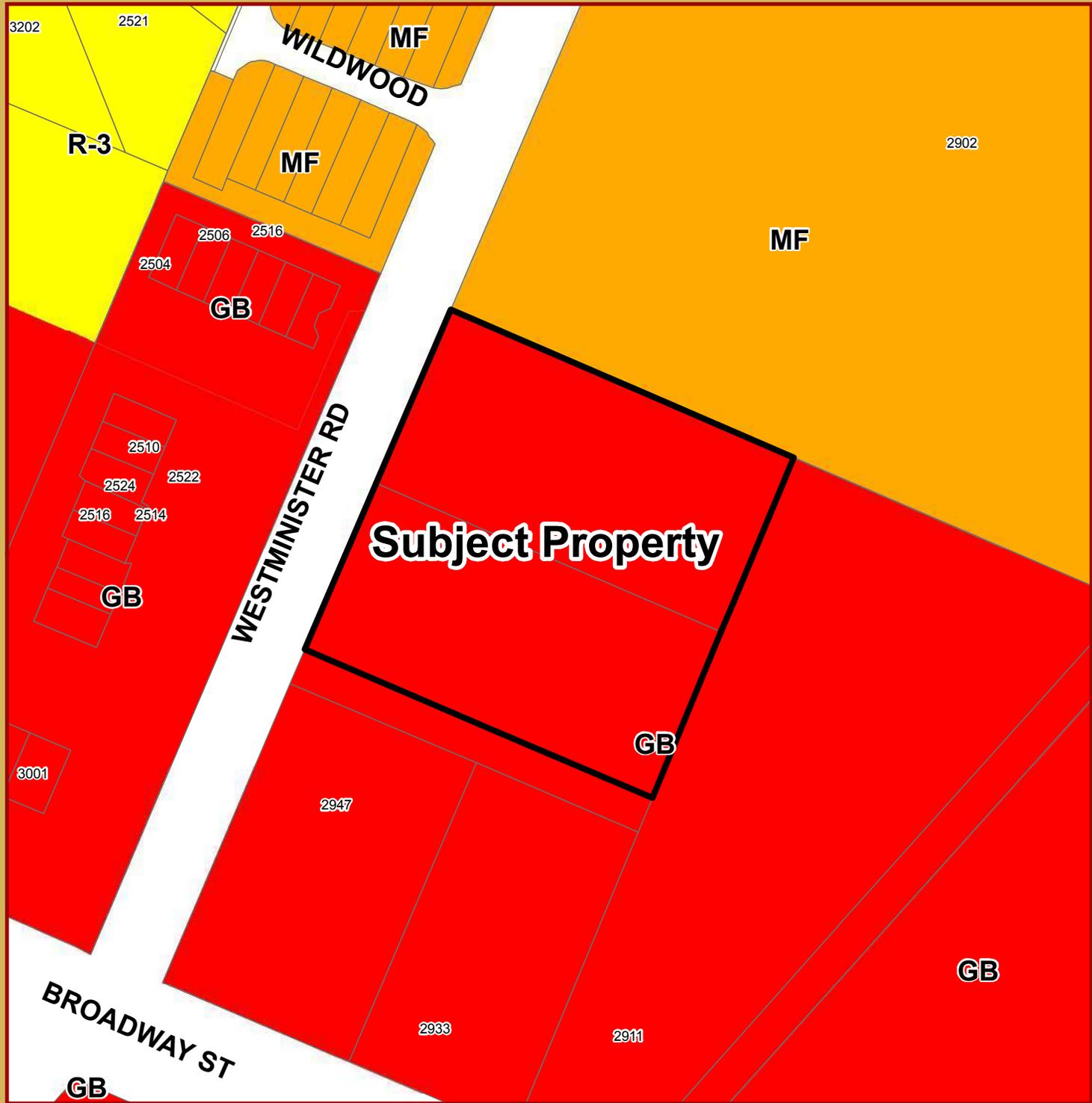


Exhibit 2

ZONING MAP

CUP 16-00011

NE of Westminister Rd
and Broadway St



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OCTOBER 2016
PLANNING DEPARTMENT



Medium Density Residential

High Density Residential

Subject Property

Retail, Offices and Services

WESTMINISTER RD

BROADWAY ST

2902

2506 2516
2504 2510 2518
2508 2508
2506

2510 2522
2524
2516 2514
2518 2514
2520 2528

3001

2947

2933

2911

Exhibit 3

FLUP MAP

CUP 16-00011

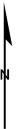
**NE of Westminister Rd
and Broadway St**



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OCTOBER 2016
PLANNING DEPARTMENT



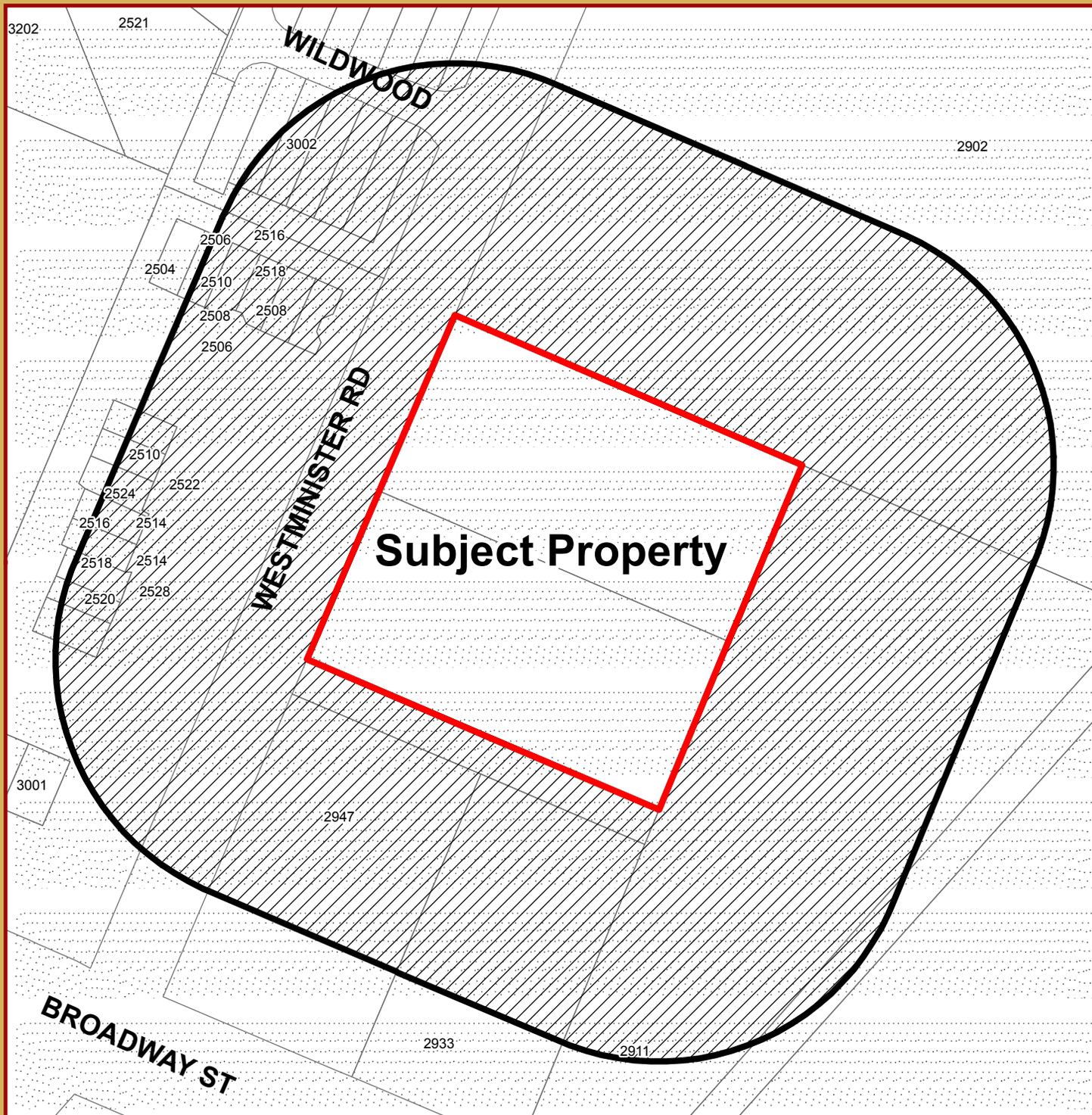


Exhibit 4

NOTIFICATION MAP

CUP 16-00011

NE of Westminister Rd
and Broadway St



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1 inch = 115 feet

OCTOBER 2016
PLANNING DEPARTMENT

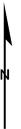


Exhibit 5

CUP 16-00011

Property_Owner	Address	City	State	Zip_Code
2947 BROADWAY INVESTMENTS INC	PO BOX 591366	HOUSTON	TX	77259
DARBY CRAIG A & LISA M	3805 PINE BRANCH DR	PEARLAND	TX	77581
FIRST NATL BANK-PEARLAND % HEDAYATI MAHMUDK	2107 E LINWOOD OAKS ST	PEARLAND	TX	77581
FWG PARTNER LTD	PO BOX 451509	HOUSTON	TX	77245
GEHRING ALICE F	2526 WESTMINISTER ST	PEARLAND	TX	77581
GREAT BARRIER LLC	PO BOX 636	PEARLAND	TX	77588
GREENSPACE HOLDINGS LLC	1100 NASA PKWY, STE 685	HOUSTON	TX	77058
KELLEY R W FAMILY LTD PARTNERSHIP	2933 BROADWAY ST	PEARLAND	TX	77581
NERWAT LLC	2504 WESTMINISTER ST	PEARLAND	TX	77581
TARRER RICHARD A	3203 E CEDAR HOLLOW DR	PEARLAND	TX	77584
WHISPERING WINDS APARTMENTS LLC % BEN BEITEL	1449 37TH ST	BROOKLYN	NY	11218



APPLICATION FOR A CONDITIONAL USE PERMIT (CUP)

Conditional Use Permit Request for: MINI-WAREHOUSE
(list proposed use from the Table of Uses of the UDC)



Current Zoning District: GENERAL BUSINESS

Property Information:

Address or General Location of Property: 2911 WESTMINISTER RD
PEARLAND, TX 77581

Tax Account No. 82772001000

Subdivision: WHISPERING WINDS Lot: 1 Block: 1

A complete application must include all information shown on the Application Checklist attached to this application.

PROPERTY OWNER INFORMATION:

NAME GREEN SPACE HOLDINGS LLC
 ADDRESS 1100 NASA PKWY STE 685
 CITY HOUSTON STATE TX ZIP 77058
 PHONE (713) 906-2550
 FAX () N/A
 E-MAIL ADDRESS RICK@GREENSPACEHOLDINGS.COM

APPLICANT/AGENT INFORMATION:

NAME GREEN SPACE HOLDINGS LLC
 ADDRESS 1100 NASA PKWY STE 685
 CITY HOUSTON STATE TX ZIP 77058
 PHONE (713) 906 2550
 FAX () N/A
 E-MAIL ADDRESS RICK@GREENSPACE-HOLDINGS.COM

*Property owner must be the current owner of the property at the time of submittal of the application, and not the party that has the property under contract.

As owner and applicant, I hereby request approval of the above described request as provided for by the Unified Development Code of the City of Pearland.

Owner's Signature: [Signature] Date: 10-18-2016

Agent's / Applicant's Signature: [Signature] Date: 10-18-2016

OFFICE USE ONLY:

FEE PAID:	DATE PAID: <u>10/18/16</u>	RECEIVED BY: <u>[Signature]</u>	RECEIPT NUMBER:
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Application No CUP 16-00011

STATE OF TEXAS
COUNTY OF BRAZORIA

WE, GREENSPACE HOLDINGS, LLC, OWNERS OF THE PROPERTY SUBDIVIDED IN THE MAP HEREOF OF THE "AMENDING PLAT OF LOTS 'A' AND 'B', BLOCK ONE OF WHISPERING WINDS SUBDIVISION, CONTAINING 2.101 ACRES, DO HEREBY MAKE SUBDIVISION OF SAID PROPERTY, ACCORDING TO THE PROPERTY LINES, LOTS, BUILDING LINES, AND EASEMENTS SHOWN HEREON, AND DO HEREBY DEDICATE FOREVER FOR THE USE OF THE PUBLIC, AS SUCH, THE LAND SHOWN HEREON AS HEREBY DEDICATED TO THE PUBLIC FOR EASEMENT AND RIGHT-OF-WAY, AND DO HEREBY WAIVE ALL CLAIMS FOR DAMAGES OCCASIONED BY THE ESTABLISHMENT OF GRADES, AS APPROVED, FOR THE EASEMENT DEDICATED, OR OCCASIONED BY THE ALTERATION OF THE SURFACE, OF AND PORTION OF THE DRAINAGE EASEMENTS TO CONFORM TO SUCH GRADES, AND DO HEREBY BIND OURSELVES, OUR HEIRS, SUCCESSORS, AND ASSIGNS TO WARRANT AND FOREVER DEFEND THE TITLE TO THE LAND SO DEDICATED, SUBJECT, TO ALL MATTERS OF RECORD.

WITNESS MY HAND IN Harris COUNTY, TEXAS
THIS 6th DAY OF October, 2016.

BY: David Ledoux
TITLE: MANAGER

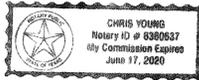
STATE OF TEXAS
COUNTY OF BRAZORIA

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED DAVID LEDOUX, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN SET FORTH.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS 6th DAY OF October, 2016.

BY: Chris Young
NOTARY PUBLIC IN AND FOR Harris COUNTY, TEXAS.

MY COMMISSION EXPIRES: 6/17/2020



STATE OF TEXAS
COUNTY OF BRAZORIA

WE, B.L. STANLEY, LTD., ACTING BY AND THROUGH KREG STANLEY, IN HIS CAPACITY AS PARTNER, BEING THE HOLDER OF A LIEN AGAINST THE ABOVE DESCRIBED PROPERTY, DOES HEREBY IN ALL THINGS SUBORDINATE TO SAID SUBDIVISION AND DECLARATION THE SAID LIEN, AND DOES HEREBY CONFIRM THAT B.L. STANLEY, LTD. IS THE PRESENT OWNER OF SAID LIEN AND HAS NOT ASSIGNED THE SAME, NOR ANY PART THEREOF.

WITNESS MY HAND IN Harris COUNTY, TEXAS.

THIS 6th DAY OF October, 2016.

BY: Kreg Stanley
PARTNER

STATE OF TEXAS
COUNTY OF BRAZORIA

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED KREG STANLEY, OF B.L. STANLEY, LTD., KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN SET FORTH AND IN THE CAPACITY THEREIN AND HEREIN STATED, AND AS THE ACT AND DEED OF SAID BANK.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS 6th DAY OF October, 2016.

BY: Chris Young
NOTARY PUBLIC IN AND FOR Harris COUNTY, TEXAS.

MY COMMISSION EXPIRES: 6/17/2020



CERTIFICATE OF CITY PLANNER

THIS IS TO CERTIFY THAT THE CITY PLANNER OF THE CITY OF PEARLAND, TEXAS HAS APPROVED THIS "AMENDING PLAT OF LOTS 'A' AND 'B', BLOCK ONE OF WHISPERING WINDS SUBDIVISION" AND IS IN CONFORMANCE WITH THE LAWS OF THE STATE OF TEXAS AND THE ORDINANCES OF THE CITY OF PEARLAND AS SHOWN HEREON AND AUTHORIZES THE RECORDING OF THIS PLAT THIS 17th DAY OF November, 2016.

BY: W. K. ...

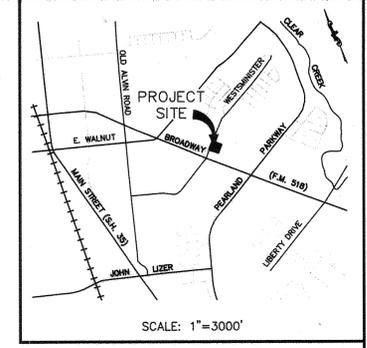
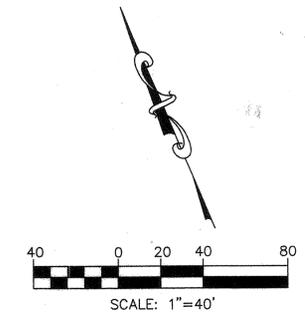
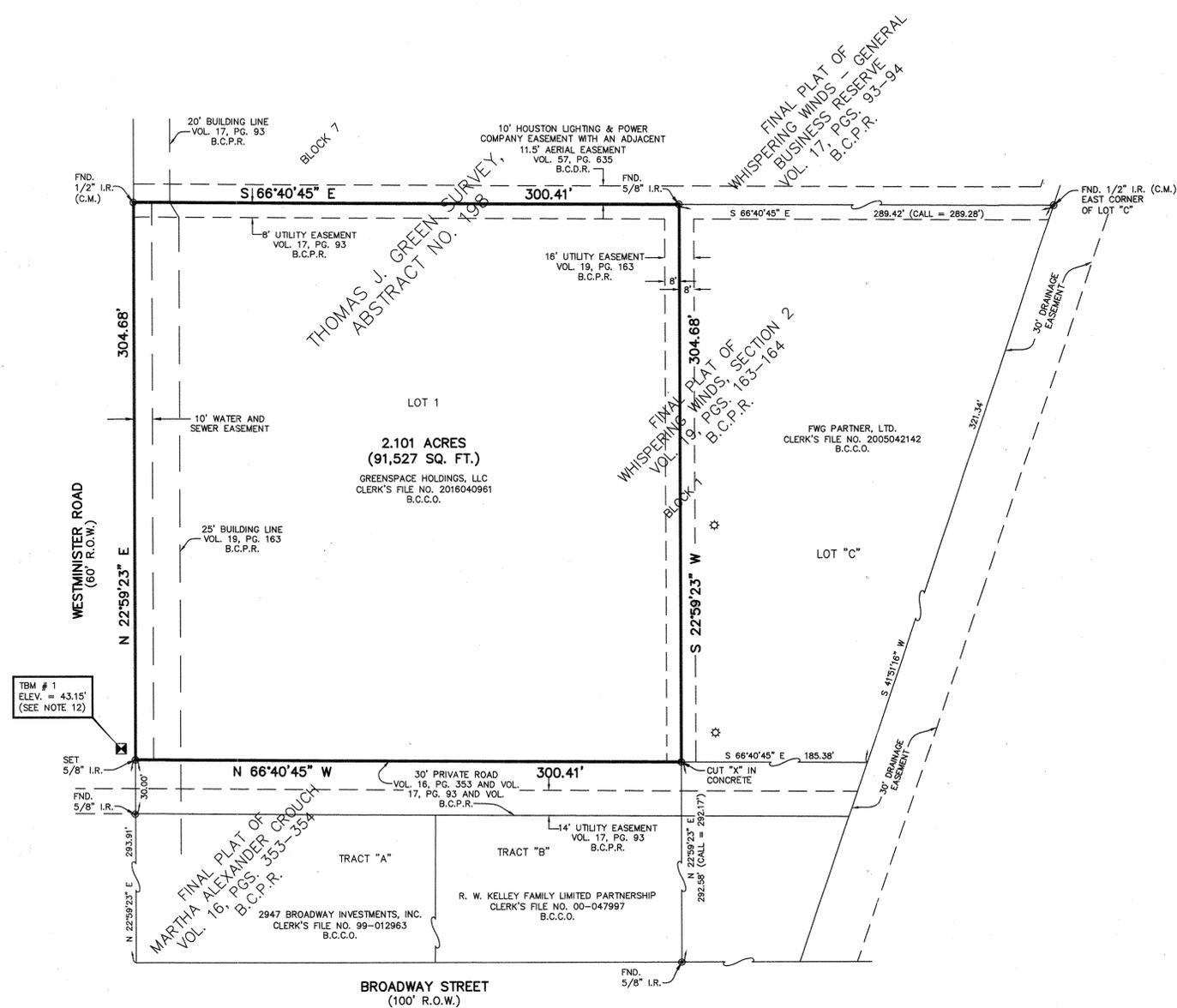
CITY PLANNER

BY: Darrin Coker
CITY ENGINEER

BY: Darrin Coker
DARRIN COKER,
CITY ATTORNEY

NOTES:

- 1. BEARINGS AND SURFACE COORDINATE SHOWN HEREON ARE BASED ON THE TEXAS COORDINATE SYSTEM OF 1983, SOUTH CENTRAL ZONE. SCALE FACTOR: 0.99997.
- 2. ACCORDING TO FEMA FIRM MAP NUMBER 48039D045 J, DATED SEPTEMBER 22, 1990, THE SUBJECT TRACT LIES IN AN UNSHADED ZONE "X" AREA. THIS DESIGNATION IS BASED ON SCALING FROM THE FLOOD AND FLOODPLAIN INFORMATION NOTED HEREON REFLECTS THE STATUS FOR THE FEMA FIRM MAP THAT IS EFFECTIVE AT THE TIME THIS PLAT IS RECORDED. FLOODPLAIN STATUS IS SUBJECT TO CHANGE AS FEMA FIRM MAPS ARE UPDATED.
- 3. THIS PLAT HAS BEEN PREPARED TO MEET THE REQUIREMENTS OF THE STATE OF TEXAS, BRAZORIA COUNTY AND THE CITY OF PEARLAND.
- 4. THIS PLAT WAS PREPARED FROM INFORMATION PROVIDED BY CHARTER TITLE COMPANY, G.F. NO. 101700370505, DATED SEPTEMBER 9, 2016.
- 5. ALL SUBDIVISION COMMON AREAS, INCLUDING BUT NOT LIMITED TO, DETENTION FACILITIES, EASEMENTS, AND OPEN SPACE WITHIN THE BOUNDARIES OF THIS PLAT SHALL BE MAINTAINED BY A HOMEOWNERS ASSOCIATION, COMMERCIAL PROPERTY ASSOCIATION OR OTHER ENTITY AND SHALL NOT BE THE RESPONSIBILITY OF THE CITY OF PEARLAND OR BRAZORIA COUNTY.
- 6. ANY CONSTRUCTION PROPOSED TO BE INSTALLED WITHIN A PROPERTY EASEMENT WITH PRESCRIBED RIGHTS TO A PRIVATE ENTITY SHALL REQUIRE THE PERMISSION OF THE PRIVATE ENTITY PRIOR TO THE START OF CONSTRUCTION. FAILURE TO OBTAIN SUCH PERMISSION MAY RESULT IN THE RIGHT HOLDER(S) OF THE EASEMENT REMOVING ANY UNAPPROVED PAVEMENT, STRUCTURES, UTILITIES, OR OTHER FACILITIES LOCATED WITHIN THE EASEMENT. THE RESPONSIBILITY OF SECURING APPROVAL FROM THE PRIVATE ENTITIES TO BUILD WITHIN AN EASEMENT IS SOLELY THAT OF THE PROPERTY OWNER.
- 7. THE MINIMUM SLAB ELEVATION FOR ALL BUILDINGS LOCATED WITHIN THE BOUNDARIES OF THIS PLAT SHALL BE THE HIGHER OF (1) EITHER 12 INCHES ABOVE THE TOP OF CURB ELEVATION FOR A CURB STREET OR 12 INCHES ABOVE THE ELEVATION OF THE EDGE OF THE ROADWAY IF NO CURB EXISTS, OR (2) 12 INCHES ABOVE THE 100 YEAR FLOODPLAIN WATER SURFACE ELEVATION FOR STRUCTURES TO BE LOCATED WITHIN THE 100 YEAR FLOODPLAIN.
- 8. ANY PROPOSED DRAINAGE SYSTEM FOR THIS SUBDIVISION SHALL BE DESIGNED TO MEET THE REQUIREMENTS OF THE CITY OF PEARLAND AND BRAZORIA DRAINAGE DISTRICT #4, AND MAINTENANCE OF ANY DRAINAGE SYSTEM WILL BE THE RESPONSIBILITY OF THE OWNER.
- 9. ALL LANDSCAPING AND STRUCTURES, INCLUDING FENCES AT INTERSECTIONS SHALL CONFORM TO THE CITY OF PEARLAND AND AASHTO SITE DISTANCE REQUIREMENTS FOR MOTORISTS.
- 10. DRIVEWAY REQUIREMENTS FOR THE LOCATION, WIDTHS AND OFFSETS FROM AN INTERSECTION AND ANY EXISTING DRIVEWAY OR PROPOSED DRIVEWAYS, SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PEARLAND ENGINEERING DESIGN CRITERIA MANUAL AND UNIFIED DEVELOPMENT CODE.
- 11. PROJECT BENCHMARK IS CITY OF PEARLAND OPS MONUMENT #1, ELEVATION = 45.19', NOV 29 (1987 ADJUSTMENT).
- 12. PROJECT TBM #1 IS THE TOP OF A STORM MANHOLE (NORTH SIDE) LOCATED APPROXIMATELY 18 FEET SOUTH OF AN EXISTING FIRE HYDRANT AND APPROXIMATELY 10 FEET NORTHWEST OF THE SOUTHWEST CORNER OF SUBJECT TRACT. ELEVATION = 43.10' NOV29 (87 ADJ.). SURFACE COORDINATE IS N 13,771,403.07, E 3,155,228.99' (SCALE FACTOR: 0.99997).
- 13. ACCESS RIGHTS TO PARKING AREAS AND DRIVEWAYS ARE HEREBY GRANTED TO ALL ADJOINING COMMERCIAL PROPERTIES.
- 14. THE SUBJECT TRACT DOES NOT LIE WITHIN A MUNICIPAL UTILITY DISTRICT (MUD).



ACREAGE TABLE

LOT 1	0.380 ACRE
LOT 2	0.421 ACRE

LEGEND

B.C.C.O.	BRAZORIA COUNTY CLERK'S OFFICE
B.C.D.R.	BRAZORIA COUNTY DEED RECORDS
B.C.M.R.	BRAZORIA COUNTY MAP RECORDS
(C.M.)	CONTROL MONUMENT
FND	FOUND
H.L.&P.	HOUSTON LIGHTING AND POWER
R.O.W.	RIGHT-OF-WAY
I.P.	IRON PIPE
I.R.	IRON ROD
⊙	EXISTING STREETLIGHT

THE PURPOSE OF THIS AMENDING PLAT IS TO CREATE ONE LOT FROM TWO LOTS.

AMENDING PLAT OF LOTS "A" AND "B", BLOCK 1 OF WHISPERING WINDS SUBDIVISION

A SUBDIVISION OF 2.101 ACRES LOCATED IN THE THOMAS J. GREEN SURVEY, ABSTRACT NO. 198, IN THE CITY OF PEARLAND, BRAZORIA COUNTY, TEXAS

1 BLOCK 1 LOT
OCTOBER, 2016

2911 WESTMINISTER ROAD

OWNER:

GREENSPACE HOLDINGS, LLC
1100 NASA PARKWAY, SUITE 685
HOUSTON, TEXAS 77058
PHONE: (832) 982-0600

CERTIFICATE OF SURVEYOR

I, MICHAEL D. WILSON, AM REGISTERED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF SURVEYING AND HEREBY CERTIFY THAT THE ABOVE SUBDIVISION IS TRUE AND CORRECT; WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND; THAT ALL BOUNDARY CORNERS, ANGLE POINTS, POINTS OF CURVATURE AND OTHER POINTS OF REFERENCE HAVE BEEN MARKED WITH IRON (OR OTHER SUITABLE PERMANENT METAL PIPES OR RODS) HAVING AN OUTSIDE DIAMETER OF NOT LESS THAN FIVE-EIGHTH (5/8) INCH AND A LENGTH OF NOT LESS THAN TWO (2) FEET, UNLESS OTHERWISE NOTED.

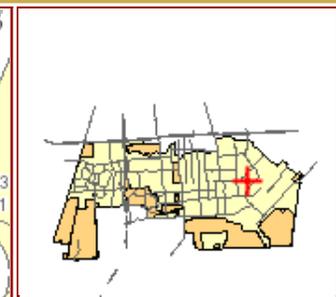
BY: Michael D. Wilson

MICHAEL D. WILSON
REGISTERED PROFESSIONAL
LAND SURVEYOR NO. 4821



PREPARED BY:

THE WILSON SURVEY GROUP
PROFESSIONAL LAND SURVEYORS
2006 E. BROADWAY PEARLAND, TEXAS
(281) 485-3991 FAX (281) 485-3998
CONTACT: CHRIS L. HENDRICK



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Scale 1:2,246
 1 in = 187 ft
 October 17, 2016



EXHIBIT 'A'

<p>Property Identification #: 489877</p> <p>Geo ID: 8277-2001-000 Situs Address: WESTMINISTER RD PEARLAND, Property Type: Real State Code: C2</p>	<p>Property Information: 2016</p> <p>Legal Description: WHISPERING WINDS (PEARLAND), LOT A, SEC 2 Abstract: S8277 Neighborhood: Null Appraised Value: N/A Jurisdictions: GBC, RDB, DR4, SPL, CAD, CPL</p>
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<p>Property Identification #: 489881</p> <p>Geo ID: 8277-2002-000 Situs Address: WESTMINISTER RD PEARLAND, Property Type: Real State Code: C2</p>	<p>Property Information: 2016</p> <p>Legal Description: WHISPERING WINDS (PEARLAND), LOT B, SEC 2, ACRES 1.051 Abstract: S8277 Neighborhood: Null Appraised Value: N/A Jurisdictions: GBC, DR4, RDB, CAD, CPL, SPL</p>
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GreenSpace Holdings LLC

1100 NASA Parkway, Suite 685 Houston, TX 77058
Tel: 832.982.0600 www.GreenSpaceHoldings.com

October 18, 2016

City of Pearland Planning Department
3523 Liberty Drive
Pearland, Texas 77581

Subject: Letter of Intent explaining the Conditional Use Permit request
Reference: Self-Storage Conditional Use Permit Application – GreenSpace Holdings

To whom it may concern,

GreenSpace Holdings LLC (GSH) hereby submits an application for a Conditional Use Permit for the above referenced project located at 2911 Westminister Road.

GSH wishes to construct a 136,632 gross square feet (102,896 net rentable square feet), 3-story self-storage facility on our 2.101-acre site, providing a wide range of self-storage units to residents in the area. The building will be approximately 219 feet wide x 212 feet deep x 40 feet high.

The property is currently covered with only grass; no trees or buildings exist on the property.

The facility will be climate controlled with HVAC systems and will meet architectural requirements via the use of the appropriate amounts of masonry, stucco and glass, as was advised in our August 17, 2016 predevelopment meeting.

We hired CubeSmart, one of the big-four self-storage public REITs, to manage the facility operations. CubeSmart has decades of experience both owning and operating hundreds of self-storage facilities across the nation. Thus, finishes and signs will meet CubeSmart's specifications. CubeSmart will control the hours of operation of the facility, which we believe will be approximately 6:00 AM to 9:00 PM daily.

GSH and our Design/Build Contractor TMS attended a Pre-Development meeting on August 17, at which time we were told that the property received a CUP for a self-storage facility in 2006 (case No. 2006-06). Since then, the CUP has expired. It is our hope that after the following application and attachments are reviewed, the City of Pearland will issue a CUP for this similar purpose, which was previously approved.

We understand your CUP procedural process, and realize the impact of the proposed conditional use on, and its compatibility with, surrounding properties and residential areas must be determined. We appreciate that the use of the property must be, and will be, appropriate for the area and comply with your comprehensive planning and zoning regulations. We are also sensitive to the need to preserve the character and integrity of adjacent developments and neighborhoods. To this end, the finished project will mitigate development related adverse impacts, such as traffic, noise, odors, visual nuisances, drainage or other similar adverse effects to adjacent development and neighborhoods. In addition, the project will provide 24-hour security and surveillance to ensure optimal security.

The project will not generate detrimental pedestrian and vehicular traffic which would be hazardous or conflict with the existing and anticipated traffic in the neighborhood. This is because self-storage is a low-volume traffic business, and generates little, if any, pedestrian traffic.

The project will not require any roadway adjustments, traffic control devices or mechanisms, either during construction or during operations, other than the addition of a single curb cut. Some construction traffic will be experienced; however, this is minimized via the use of our modular construction technique.

Another benefit of the development is that this self-storage project requires approximately 50% of the schedule requirements of a conventionally built multi-level climate-controlled self-storage facility, further minimizing construction traffic and construction noise durations.

The project will meet the City's 15% landscape requirement. And the project will comply with the City's requirements that a masonry fence be installed between the building and the adjacent apartment complex, directly north of the site. We will provide a 25-foot-wide green area between the facility and the subject apartment complex. We will install the required trees and other landscaping.

Since the land is zoned General Business, it is suitable for construction a self-storage facility (contingent of course on the issuance of a CUP).

The impervious surfaces of the development will include the building roof, entrance driveway, parking lot containing at least the minimum amount of parking spaces required by the city and a 26 feet wide fire lane around all sides of the building. Curbing and sidewalks will be installed as required.

We acknowledge that we must post a sign on the property ten (10) days prior to the public hearing.

Attached are copies of evidence that taxes and obligations have been paid.

Included is a Site Plan, complete with the proposed layout, building, parking, fire lanes, landscape plan, detention locations and descriptions.

Also included is a plat with the metes and bounds description, parcel map from the City of Pearland website, indicating the location and boundaries of the subject property, acknowledgement of the sign to be posted on the property ten (10) days prior to the public hearing

We trust the City finds the following attachments describing the facility acceptable. Please let us know as soon as possible of any needed modifications.

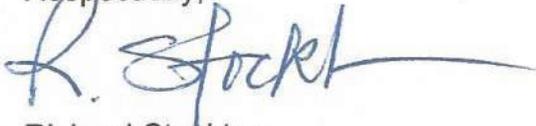
The following Checklist is from the City of Pearland's Development Handbook, August 2015.

- Application and checklist filled out completely and signed by the owner of the property.
- If the applicant is the designated agent, the application shall include a written statement from the property owner authorizing the agent to file the application on his behalf. Section 1.2.1.1 (a) of the Unified Development Code (UDC).
- Metes and bounds description (survey or plat of the property that provides or contains the metes and bounds description).
- Parcel map, printed from the City of Pearland website, indicating the location and boundaries of the subject property.
- Letter of Intent explaining the Conditional Use Permit request in detail, specifying:
 - Proposed uses
 - Specific operations of the use
 - Square footage of buildings/lot sizes
 - Unique characteristics of the property
 - Other necessary information
- Site plan showing the following:
 - Proposed layout of the subject property
 - Proposed buildings
 - Parking
 - Landscape plan
 - Detention ponds
 - Fence
 - Other relevant information
- Acknowledgement of the sign to be posted on the property ten (10) days prior to the public hearing.
- Provide evidence or proof that all taxes and obligations have been paid regarding the subject property.

Application fee, as determined below, by cash, check made payable to the City of Pearland, or credit card (Visa and MasterCard only). Please refer to the City's webpage www.pearlandtx.gov for updated fees.

I request this application be reviewed at the November 21, 2016 Joint Public Hearing.

Respectfully,

A handwritten signature in blue ink, appearing to read "R. Stockton", with a long horizontal flourish extending to the right.

Richard Stockton
Manager - GreenSpace Holdings LLC
Rick@GreenSpaceHoldings.com
713-906-2550

Attachments

Cc:
David Ledoux - GreenSpace Holdings LLC
Stefan Knieling - TMS Contractors

GreenSpace Holdings LLC

1100 NASA Parkway
Suite 685
Houston, Texas 77058
O: +1 (832) 982-0600

October 18, 2016

City of Pearland Community Development
3523 Liberty Drive
Pearland, Texas 77581

Re: Sign acknowledgment

Dear Sirs:

Please let this letter serve as official notice that GreenSpace Holdings LLC acknowledges that we will abide by the requirement to post a sign on our property on Westminister Road which we will post at least 10 days prior to the public hearing.

Sincerely,

A handwritten signature in black ink, appearing to read 'David Ledoux', with a stylized flourish at the end.

David Ledoux
Manager/Member

Thursday, October 13, 2016

[Shopping Cart](#)

Property Tax Status

[Begin a New Search](#) [Go to Your Portfolio](#) [Tax Office FAQ's](#)

Make your check or money order payable to:

Ro'Vin Garrett
111 E. Locust
Angleton, Texas 77515

Shopping Cart: For your convenience you may pay several accounts at once. Click the 'Click Here to Pay Now' button to add this account to the shopping cart. Additional accounts can be added by doing a search again, then clicking the 'Click Here to Pay Now' button for each account. Up to 50 accounts may be paid at one time. Accounts are not saved in the shopping cart after you go to the Certified Payment web site.

If using Internet Explorer version 8 or later, you may experience problems adding more than four accounts to your shopping cart. Please consider using a different browser (for ex., Chrome or Firefox) to manage your shopping cart.



A Convenience Fee of up to 2.4% will be charged for all credit card payments by the vendor providing this service. For eChecks, a convenience fee of \$1.50 will be charged for each transaction. The fee covers the cost of making payments by credit card possible. The fee will appear as a charge to 'Certified Payments'. No part of this fee is retained by Brazoria County.

Unless otherwise noted, all data refers to tax information for 2016. All amounts due include penalty, interest, and attorney fees when applicable. Due to the large volume of work during heavy payment periods amounts due may not reflect payments that have been received but not yet processed.

Account Number: 82772001000**Address:**

HEDAYATI MAHMUDK
2107 EAST LINWOOD OAKS
PEARLAND, TX 77581-3507

Property Site Address:

WESTMINISTER RD

Legal Description:

WHISPERING WINDS (PEARLAND), LOT A, SEC
2

Current Tax Levy: \$1,668.20**Current Amount Due:** \$1,668.20**Prior Year Amount Due:** \$0.00**Total Amount Due:** \$1,668.20**Last Payment Amount for Current Year Taxes:**

Not Received

Active Lawsuits: None**Pending Credit Card or E-Check Payments:**

No Payment Pending

[Click Here to Pay Now](#)

Jurisdictions:

BRAZORIA COUNTY
BRAZORIA DRAINAGE DIST 4
CITY OF PEARLAND
PEARLAND ISD
SPECIAL ROAD & BRIDGE

Market Value: \$61,780.**Land Value:** \$61,780**Improvement Value:** \$0**Capped Value:** \$0**Agricultural Value:** \$0**Exemptions:** None**Last Certified Date:** 09/18/2016[Taxes Due Detail by Year and Jurisdiction](#)[Payment Information](#)[Print a Current Tax Statement](#)

[Click Here](#) to see your estimated amount due for a different date. You can see this information by year and by both year and jurisdiction.

Thursday, October 13, 2016

Shopping Cart

Property Tax Status

[Begin a New Search](#) [Go to Your Portfolio](#) [Tax Office FAQ's](#)

Make your check or money order payable to:

Ro'Vin Garrett
111 E. Locust
Angleton, Texas 77515

Shopping Cart: For your convenience you may pay several accounts at once. Click the 'Click Here to Pay Now' button to add this account to the shopping cart. Additional accounts can be added by doing a search again, then clicking the 'Click Here to Pay Now' button for each account. Up to 50 accounts may be paid at one time. Accounts are not saved in the shopping cart after you go to the Certified Payment web site.

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Unless otherwise noted, all data refers to tax information for 2016. All amounts due include penalty, interest, and attorney fees when applicable. Due to the large volume of work during heavy payment periods amounts due may not reflect payments that have been received but not yet processed.

Account Number: 82772002000

Address:

FIRST NATL BANK-PEARLAND
% HEDAYATI MAHMUDK
2107 E LINWOOD OAKS ST
PEARLAND, TX 77581-3507

Property Site Address:

WESTMINISTER RD

Legal Description:

WHISPERING WINDS (PEARLAND), LOT B, SEC
2, ACRES 1.051

Current Tax Levy: \$1,669.00

Current Amount Due: \$1,669.00

Prior Year Amount Due: \$0.00

Total Amount Due: \$1,669.00

Last Payment Amount for Current Year Taxes:

Not Received

Active Lawsuits: None

Pending Credit Card or E-Check Payments:

No Payment Pending

[Click Here to Pay Now](#)

Jurisdictions:

BRAZORIA COUNTY
BRAZORIA DRAINAGE DIST 4
CITY OF PEARLAND
PEARLAND ISD
SPECIAL ROAD & BRIDGE

Market Value: \$61,810

Land Value: \$61,810

Improvement Value: \$0

Capped Value: \$0

Agricultural Value: \$0

Exemptions: None

Last Certified Date: 09/18/2016

[Taxes Due Detail by Year and Jurisdiction](#)

[Payment Information](#)

[Print a Current Tax Statement](#)

[Click Here](#) to see your estimated amount due for a different date. You can see this information by year and by both year and jurisdiction.

2016 TAX STATEMENT



RO'VIN GARRETT, PCC
 BRAZORIA COUNTY TAX ASSESSOR - COLLECTOR
 111 E. LOCUST
 ANGLETON, TEXAS 77515

Certified Owner:
 HEDAYATI MAHMUDK
 2107 EAST LINWOOD OAKS
 PEARLAND, TX 77581-3507

Legal Description:
 WHISPERING WINDS (PEARLAND), LOT A, SEC
 2

Account No: 8277-2001-000
 As of Date: 10/13/2016

Appr. Dist. No.: 489677

Legal Acres: 1.0506
 Parcel Address: WESTMINISTER RD
 Print Date: 10/13/2016

Market Value		Appraised Value	Assessed Value	Capped Value	Homesite Value	Agricultural Market Value	Non-Qualifying Value
Land	Improvement						
\$61,780	\$0	\$61,780	\$61,780	\$0	\$0	\$0	\$61,780

Taxing Unit	Assessed Value (100%)	Exemptions		Taxable Value	Tax Rate	Tax
		Code	Amount			
BRAZORIA COUNTY	\$61,780		\$0.00	\$61,780	0.3974050	\$245.52
<i>Amount saved by additional sales tax revenue \$62.80</i>						
SPECIAL ROAD & BRIDGE	\$61,780		\$0.00	\$61,780	0.0600000	\$37.07
PEARLAND ISD	\$61,780		\$0.00	\$61,780	1.4156000	\$874.56
BRAZORIA DRAINAGE DIST 4	\$61,780		\$0.00	\$61,780	0.1460000	\$90.20
CITY OF PEARLAND	\$61,780		\$0.00	\$61,780	0.6812000	\$420.85

Total Tax: \$1,668.20
 Total Tax Paid to date: \$0.00
 Total Tax Remaining: \$1,668.20

Exemptions:

AMOUNT DUE IF PAID BY:

10/31/2016 0%	11/30/2016 0%	01/02/2017 0%	01/31/2017 0%	02/28/2017 7%	03/31/2017 9%
\$1,668.20	\$1,668.20	\$1,668.20	\$1,668.20	\$1,784.97	\$1,818.35
05/01/2017 11%	05/31/2017 13%	06/30/2017 15%	07/31/2017 18 + up to 20%	08/31/2017 19 + up to 20%	10/02/2017 20 + up to 20%
\$1,851.70	\$1,885.07	\$1,918.43	\$2,310.57	\$2,330.15	\$2,349.72

School Information:

PEARLAND ISD 2016 M&O 1.0400000 I&S .37560000 Total 1.4156000 2015 M&O 1.0400000 I&S .37560000 Total 1.4156000

PLEASE CUT AT THE DOTTED LINE AND RETURN THIS PORTION WITH YOUR PAYMENT. 4.1.64

Print Date: 10/13/2016

PLEASE NOTE YOUR ACCOUNT NUMBER ON YOUR CHECK AND MAKE CHECKS PAYABLE TO:

RO'VIN GARRETT, PCC
 BRAZORIA COUNTY TAX ASSESSOR - COLLECTOR
 111 E. LOCUST
 ANGLETON, TEXAS 77515
 (979) 864-1320, (979) 388-1320, (281) 756-1320



8277-2001-000
 HEDAYATI MAHMUDK
 2107 EAST LINWOOD OAKS
 PEARLAND, TX 77581-3507

AMOUNT PAID:
 \$ _____

82772001000 2016 102016 00000166820 00000166820 00000166820 3

2016 TAX STATEMENT



RO'VIN GARRETT, PCC
 BRAZORIA COUNTY TAX ASSESSOR - COLLECTOR
 111 E. LOCUST
 ANGLETON, TEXAS 77515

Certified Owner:
 FIRST NATL BANK-PEARLAND
 % HEDAYATI MAHMUDK
 2107 E LINWOOD OAKS ST
 PEARLAND, TX 77581-3507

Legal Description:
 WHISPERING WINDS (PEARLAND), LOT B, SEC
 2, ACRES 1.051

Account No: 8277-2002-000
As of Date: 10/13/2016

Appr. Dist. No.: 489681

Legal Acres: 1.0510
Parcel Address: WESTMINISTER RD
Print Date: 10/13/2016

Market Value		Appraised Value	Assessed Value	Capped Value	Homesite Value	Agricultural Market Value	Non-Qualifying Value
Land	Improvement						
\$61,810	\$0	\$61,810	\$61,810	\$0	\$0	\$0	\$61,810

Taxing Unit	Assessed Value (100%)	Exemptions		Taxable Value	Tax Rate	Tax
		Code	Amount			
BRAZORIA COUNTY	\$61,810		\$0.00	\$61,810	0.3974050	\$245.64
<i>Amount saved by additional sales tax revenue \$62.83</i>						
SPECIAL ROAD & BRIDGE	\$61,810		\$0.00	\$61,810	0.0600000	\$37.09
PEARLAND ISD	\$61,810		\$0.00	\$61,810	1.4156000	\$874.98
BRAZORIA DRAINAGE DIST 4	\$61,810		\$0.00	\$61,810	0.1460000	\$90.24
CITY OF PEARLAND	\$61,810		\$0.00	\$61,810	0.6812000	\$421.05

Total Tax: \$1,669.00
Total Tax Paid to date: \$0.00
Total Tax Remaining: \$1,669.00

Exemptions:

AMOUNT DUE IF PAID BY:

10/31/2016 0%	11/30/2016 0%	01/02/2017 0%	01/31/2017 0%	02/28/2017 7%	03/31/2017 9%
\$1,669.00	\$1,669.00	\$1,669.00	\$1,669.00	\$1,785.83	\$1,819.21
05/01/2017 11%	05/31/2017 13%	06/30/2017 15%	07/31/2017 18 + up to 20%	08/31/2017 19 + up to 20%	10/02/2017 20 + up to 20%
\$1,852.60	\$1,885.97	\$1,919.36	\$2,311.69	\$2,331.28	\$2,350.87

School Information:

PEARLAND ISD 2016 M&O 1.0400000 I&S .37560000 Total 1.4156000 2015 M&O 1.0400000 I&S .37560000 Total 1.4156000

PLEASE CUT AT THE DOTTED LINE AND RETURN THIS PORTION WITH YOUR PAYMENT.

4.164

Print Date: 10/13/2016

PLEASE NOTE YOUR ACCOUNT NUMBER ON YOUR CHECK AND MAKE CHECKS PAYABLE TO:

RO'VIN GARRETT, PCC
 BRAZORIA COUNTY TAX ASSESSOR - COLLECTOR
 111 E. LOCUST
 ANGLETON, TEXAS 77515
 (979) 864-1320, (979) 388-1320, (281) 756-1320



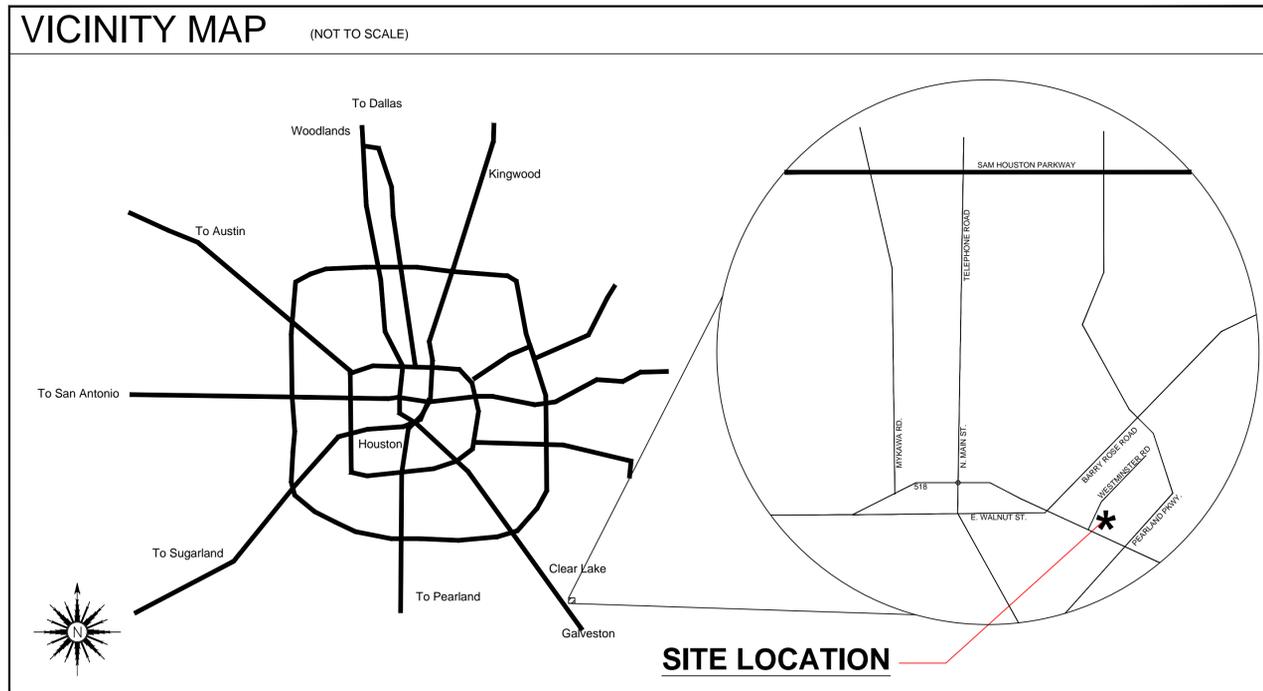
8277-2002-000
 FIRST NATL BANK-PEARLAND
 % HEDAYATI MAHMUDK
 2107 E LINWOOD OAKS ST
 PEARLAND, TX 77581-3507

AMOUNT PAID:

\$ _____

82772002000 2016 102016 00000166900 00000166900 00000166900 0

CUBE SMART STORAGE FACILITY - PEARLAND LOCATION



PROJECT SCOPE

CREATE NEW CONSTRUCTION LOCKABLE DRY STORAGE FACILITY. BUILDING TO BE ALL STEEL AND 3 STORIES TALL.

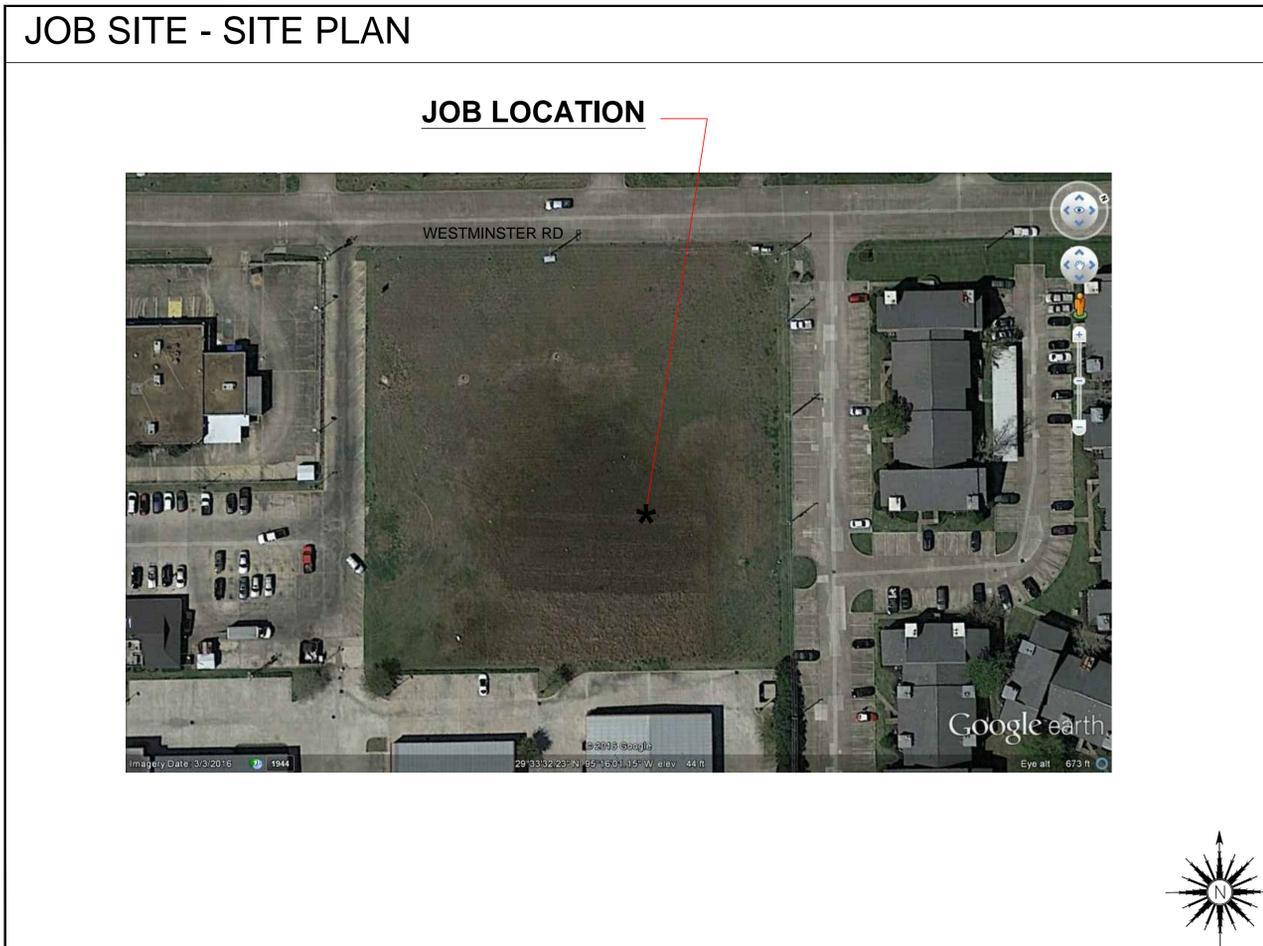
INDEX OF DRAWINGS:

5	4	3	2	1	ARCHITECTURAL AND ELECTRICAL, MECHANICAL AND PLUMBING COMBINED
					CS1 COVER SHEET
					CS2 SYMBOLS AND ABBREVIATIONS
					CS3 ACCESSIBILITY STANDARDS
					SP1.10 SITE PLAN
					A1.10 FIRST FLOOR PLAN - CONTAINERS
					A1.20 FIRST FLOOR FLOOR PLAN
					A1.25 FIRST FLOOR STORAGE LAYOUT
					A1.30 SECOND FLOOR PLAN - CONTAINERS
					A1.35 SECOND FLOOR PLAN - STORAGE LAYOUT
					A1.40 THIRD FLOOR PLAN - CONTAINER LAYOUT
					A1.45 THIRD FLOOR STORAGE LAYOUT
					A1.50 FRONT ELEVATION
					A1.60 EAST AND WEST ELEVATION
					A1.70 SOUTH ELEVATION
					A1.80 ROOF PLAN

NOTE: DRAWINGS NOT VALID WITHOUT AN ARCHITECTS' / INTERIOR DESIGNERS' / ENGINEER'S LICENSE SEAL, SIGNATURE & DATE.

BUILDING CODE AND DATA

BUILDING CODES MIN.:	
BUILDING	2015 IBC
PLUMBING	2015 IPC
ELECTRICAL	2014NEC
MECHANICAL	2015 IMC
ACCESSIBILITY	ADA AND ANSI 117.1 1998
ENERGY	2015 INTL ENERGY CONSERVATION CODE
WINDSTORM	DESIGNED FOR 110 MPH W/ 3 SEC. GUST. EXPOSURE C
SOILS	EXPANSIVE
SNOW LOAD	0 LBS / S.F.
RAIN FALL RATE	6" / HOUR
SEISMIC DESIGN CATEGORY	"A"
OCCUPANCY CLASSIFICATION	S2
TYPE OF CONSTRUCTION	IIB
FIRE SPRINKLER SYSTEM	SPRINKLED
TOTAL BUILDING SQUARE FOOTAGE = 45,544 S.F. TOTAL PER FLOOR	
136,632 S.F. TOTAL BUILDING	



- GENERAL NOTES**
1. REMOVE ALL DEBRIS FROM SITE AND DISPOSE CORRECTLY. KEEP SITE CLEAN AND SECURE AT ALL TIMES.
 2. DURING THE COURSE OF WORK - IF THE CONTRACTOR OR ITS AGENTS SHOULD DAMAGE OR DESTROY ANY EXISTING WORK WHICH IS TO REMAIN - THEN THE CONTRACTOR SHALL REPAIR OR REPLACE THE DAMAGED WORK TO ITS ORIGINAL CONDITION-AT THE CONTRACTORS EXPENSE.
 3. THE CONTRACTOR SHALL COORDINATE ALL WORK WITH THE OWNER PRIOR TO COMMENCING THE WORK.
 4. ALL WORK TO BE COMPLETED IN ACCORDANCE WITH ALL LOCAL CODES, STANDARD SPECIFICATIONS, AND DRAWING REQUIREMENTS.
 5. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE UTILITY COMPANIES AND TO VERIFY THE EXISTING LOCATION AND DEPTH OF THE UTILITIES PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL PROTECT ALL PRIVATE AND PUBLIC UTILITIES FROM DAMAGE.

PROJECT DATES

11-04-2016 ISSUED FOR REVIEW

SURVEY PLAT # 2016051797

PROJECT TITLE

GREEN SPACE STORAGE FACILITY
 2911 WESTMINSTER
 PEARLAND, TEXAS 77591

A PROJECT FOR:
 TMS CONTRACTORS, LLC
 713-256-3945
 STEFAN KNIELING
 PRESIDENT
SKNIELING@TMSCONTRACTORSLLC.COM

TMS
 CONTRACTORS L.L.C.

11-04-16	DESIGN DOCUMENTS

PROJECT NO: 070116
 DRAWN BY: MJM
 CHECKED BY: SK
 MALONEY SERVICES L.L.C. 2016. THIS OFFICE ASSUMES NO LIABILITY FOR ERRORS OR OMISSIONS ON THESE PLANS. ALL INFORMATION MUST BE CONFIRMED PRIOR TO COMMENCEMENT OF CONSTRUCTION. IT IS THE OWNERS AND BUILDERS RESPONSIBILITY FOR FOLLOWING MATERIAL AND MANUFACTURERS INSTRUCTIONS, AND USING RECOGNIZED STANDARDS FOR EACH TRADE, AS WELL AS COMPLIANCE IN FULL WITH ALL GOVERNING CODE REQUIREMENTS FOR THE GEOGRAPHIC AREA IN WHICH THIS PROJECT IS TO BE CONSTRUCTED.

SHEET TITLE

COVER SHEET

SHEET NUMBER

CS1

STATE OF TEXAS
COUNTY OF BRAZORIA

WE, GREENSPACE HOLDINGS, LLC, OWNERS OF THE PROPERTY SUBDIVIDED IN THE MAP HEREON OF THE "AMENDING PLAT OF LOTS 'A' AND 'B', BLOCK ONE OF WHISPERING WINDS SUBDIVISION", CONTAINING 2.101 ACRES, DO HEREBY MAKE SUBDIVISION OF SAID PROPERTY, ACCORDING TO THE PROPERTY LINES, LOTS, BUILDING LINES, AND EASEMENTS SHOWN HEREON, AND DO HEREBY DEDICATE FOREVER FOR THE USE OF THE PUBLIC, AS SUCH, THE LAND SHOWN HEREON AS HEREBY DEDICATED TO THE PUBLIC FOR EASEMENT AND RIGHT-OF-WAY, AND DO HEREBY WAIVE ALL CLAIMS FOR DAMAGES OCCASIONED BY THE ESTABLISHMENT OF GRADES, AS APPROVED, FOR THE EASEMENT DEDICATED, OR OCCASIONED BY THE ALTERATION OF THE SURFACE, OF AND PORTION OF THE DRAINAGE EASEMENTS TO CONFORM TO SUCH GRADES, AND DO HEREBY BIND OURSELVES, OUR HEIRS, SUCCESSORS, AND ASSIGNS TO WARRANT AND FOREVER DEFEND THE TITLE TO THE LAND SO DEDICATED, SUBJECT, TO ALL MATTERS OF RECORD.

WITNESS MY HAND IN Harris COUNTY, TEXAS

THIS 6th DAY OF October, 2016.

BY: DAVID LEDOUX
TITLE: MANAGER

STATE OF TEXAS
COUNTY OF BRAZORIA

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED DAVID LEDOUX, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN SET FORTH.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS 6th DAY OF October, 2016.

NOTARY PUBLIC IN AND FOR Harris COUNTY, TEXAS.

MY COMMISSION EXPIRES: 6/17/2020



STATE OF TEXAS
COUNTY OF BRAZORIA

WE, B.L. STANLEY, LTD., ACTING BY AND THROUGH KREG STANLEY, IN HIS CAPACITY AS PARTNER, BEING THE HOLDER OF A LIEN AGAINST THE ABOVE DESCRIBED PROPERTY, DOES HEREBY IN ALL THINGS SUBORDINATE TO SAID SUBDIVISION AND DECLARATION THE SAID LIEN, AND DOES HEREBY CONFIRM THAT B.L. STANLEY, LTD. IS THE PRESENT OWNER OF SAID LIEN AND HAS NOT ASSIGNED THE SAME, NOR ANY PART THEREOF.

WITNESS MY HAND IN Harris COUNTY, TEXAS.

THIS 6th DAY OF October, 2016.

BY: Kreg Stanley, Partner

STATE OF TEXAS
COUNTY OF BRAZORIA

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED KREG STANLEY, OF B.L. STANLEY, LTD., KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN SET FORTH AND IN THE CAPACITY THEREIN AND HEREIN STATED, AND AS THE ACT AND DEED OF SAID BANK.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS 6th DAY OF October, 2016.

BY: Chris Young

NOTARY PUBLIC IN AND FOR Harris COUNTY, TEXAS.

MY COMMISSION EXPIRES: 6/17/2020



CERTIFICATE OF CITY PLANNER

THIS IS TO CERTIFY THAT THE CITY PLANNER OF THE CITY OF PEARLAND, TEXAS HAS APPROVED THIS "AMENDING PLAT OF LOTS 'A' AND 'B', BLOCK ONE OF WHISPERING WINDS SUBDIVISION" AND IS IN CONFORMANCE WITH THE LAWS OF THE STATE OF TEXAS AND THE ORDINANCES OF THE CITY OF PEARLAND AS SHOWN HEREON, AND AUTHORIZES THE RECORDING OF THIS PLAT THIS 17th DAY OF October, 2016.

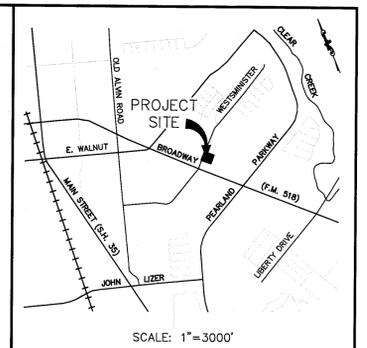
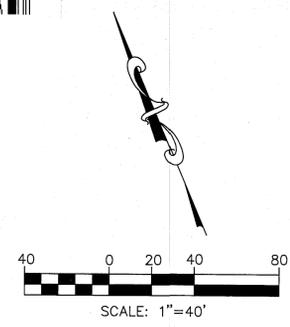
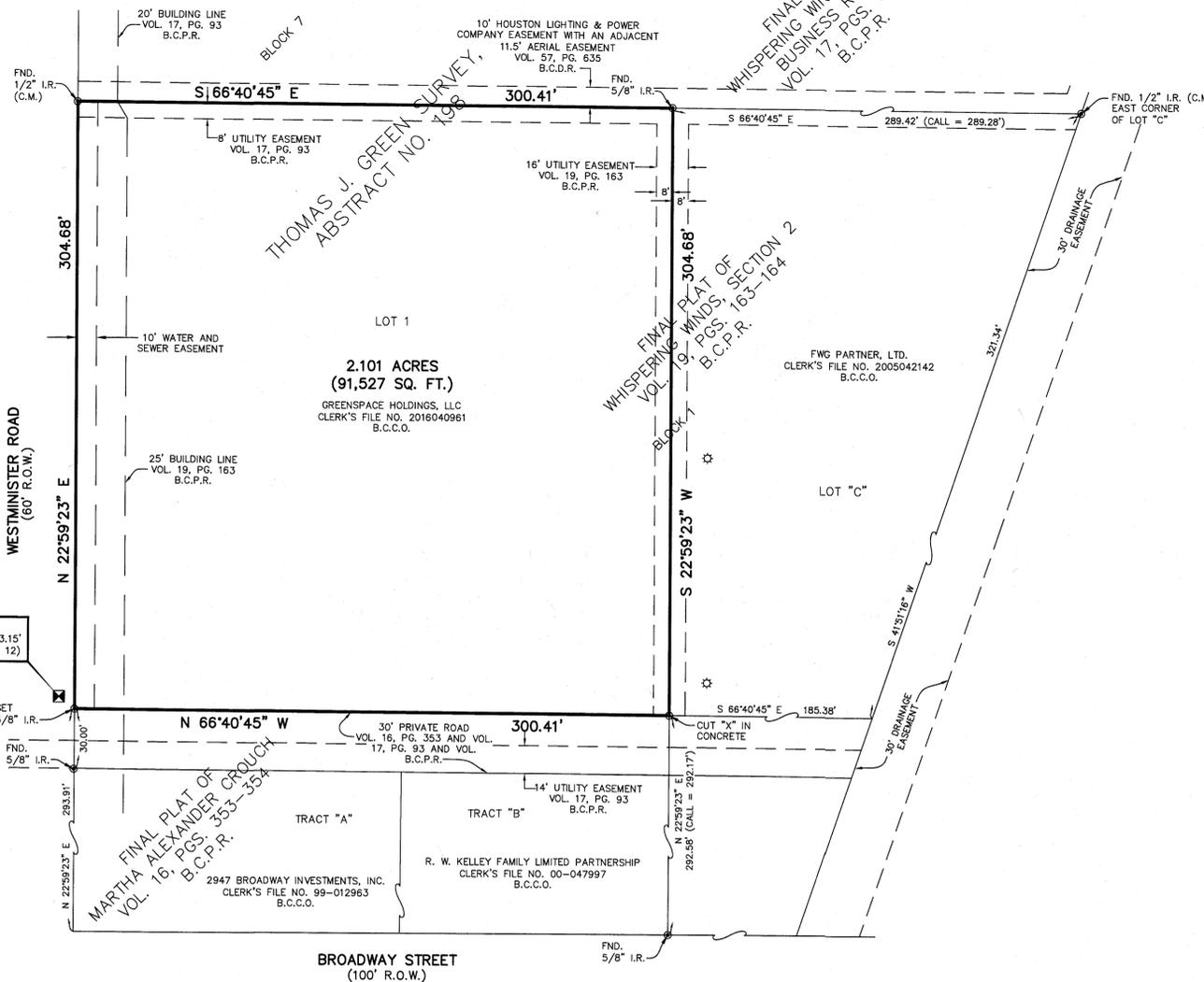
Wes Kneal
CITY PLANNER

Darrin Coker
CITY ENGINEER

Darrin Coker
DARRIN COKER,
CITY ATTORNEY

NOTES:

- 1. BEARINGS AND SURFACE COORDINATE SHOWN HEREON ARE BASED ON THE TEXAS COORDINATE SYSTEM OF 1983, SOUTH CENTRAL ZONE. SCALE FACTOR: 0.99987.
- 2. ACCORDING TO FEMA FIRM MAP NUMBER 48030C0045 J DATED SEPTEMBER 22, 1999, THE SUBJECT TRACT LIES IN AN UNSHADED ZONE "C" AREA. THIS DESIGNATION IS BASED ON SCALING FROM THE FIRM. ALL FLOODPLAIN INFORMATION NOTED HEREON REFLECTS THE STATUS PER THE FEMA FIRM MAP THAT IS EFFECTIVE AT THE TIME THIS PLAT IS RECORDED. FLOODING STATUS IS SUBJECT TO CHANGE AS FEMA FIRMS ARE UPDATED.
- 3. THIS PLAT HAS BEEN PREPARED TO MEET THE REQUIREMENTS OF THE STATE OF TEXAS, BRAZORIA COUNTY AND THE CITY OF PEARLAND.
- 4. THIS PLAT WAS PREPARED FROM INFORMATION PROVIDED BY CHARTER TITLE COMPANY, C.F. NO. 101700370505, DATED SEPTEMBER 9, 2016.
- 5. ALL SUBDIVISION COMMON AREAS, INCLUDING BUT NOT LIMITED TO, DETENTION FACILITIES, EASEMENTS, AND OPEN SPACE WITHIN THE BOUNDARIES OF THIS PLAT SHALL BE MAINTAINED BY A HOMEOWNERS ASSOCIATION, COMMERCIAL PROPERTY ASSOCIATION OR OTHER ENTITY AND SHALL NOT BE THE RESPONSIBILITY OF THE CITY OF PEARLAND OR BRAZORIA COUNTY.
- 6. ANY CONSTRUCTION PROPOSED TO BE INSTALLED WITHIN A PROPERTY EASEMENT WITH PRESCRIBED RIGHTS TO A PRIVATE ENTITY SHALL REQUIRE THE PERMISSION OF THE PRIVATE ENTITY PRIOR TO THE START OF CONSTRUCTION. FAILURE TO OBTAIN SUCH PERMISSION MAY RESULT IN THE RIGHT HOLDERS OF THE EASEMENT REMOVING ANY UNAPPROVED PAVEMENT, STRUCTURES, UTILITIES, OR OTHER FACILITIES LOCATED WITHIN THE EASEMENT. THE RESPONSIBILITY OF SECURING APPROVAL FROM THE PRIVATE ENTITIES TO BUILD WITHIN AN EASEMENT IS SOLELY THAT OF THE PROPERTY OWNER.
- 7. THE MINIMUM SLAB ELEVATION FOR ALL BUILDINGS LOCATED WITHIN THE BOUNDARIES OF THIS PLAT SHALL BE THE HIGHER OF (1) EITHER 12 INCHES ABOVE THE TOP OF CURB ELEVATION FOR A CURB STREET OR 12 INCHES ABOVE THE ELEVATION OF THE EDGE OF THE ROADWAY IF NO CURB EXISTS, OR (2) 12 INCHES ABOVE THE 100 YEAR FLOODPLAIN WATER SURFACE ELEVATION FOR STRUCTURES TO BE LOCATED WITHIN THE 100 YEAR FLOODPLAIN.
- 8. ANY PROPOSED DRAINAGE SYSTEM FOR THIS SUBDIVISION SHALL BE DESIGNED TO MEET THE REQUIREMENTS OF THE CITY OF PEARLAND AND BRAZORIA DRAINAGE DISTRICT #4, AND MAINTENANCE OF ANY DRAINAGE SYSTEM WILL BE THE RESPONSIBILITY OF THE OWNER.
- 9. ALL LANDSCAPING AND STRUCTURES, INCLUDING FENCES AT INTERSECTIONS SHALL CONFORM TO THE CITY OF PEARLAND AND AASHTO SITE DISTANCE REQUIREMENTS FOR MOTORISTS.
- 10. DRIVEWAY REQUIREMENTS FOR THE LOCATION, WIDTHS AND OFFSETS FROM AN INTERSECTION AND ANY EXISTING DRIVEWAY OR PROPOSED DRIVEWAYS, SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PEARLAND ENGINEERING DESIGN CRITERIA MANUAL AND UNIFIED DEVELOPMENT CODE.
- 11. PROJECT BENCHMARK IS CITY OF PEARLAND GPS MONUMENT # 1, ELEVATION = 43.15', NVD 29 (1987 ADJUSTMENT).
- 12. PROJECT TBM # 1 IS THE TOP OF A STORM MANHOLE (NORTH SIDE) LOCATED APPROXIMATELY 18 FEET SOUTH OF AN EXISTING FIRE HYDRANT AND APPROXIMATELY 10 FEET NORTHWEST OF THE SOUTHWEST CORNER OF SUBJECT TRACT. ELEVATION = 43.15' NVD29 (87 ADA). SURFACE COORDINATE IS N 13.771, 403.07', E 31.052, 228.59' (SCALE FACTOR: 0.99987)
- 13. ACCESS RIGHTS TO PARKING AREAS AND DRIVEWAYS ARE HEREBY GRANTED TO ALL ADJOINING COMMERCIAL PROPERTIES.
- 14. THE SUBJECT TRACT DOES NOT LIE WITHIN A MUNICIPAL UTILITY DISTRICT (MUD).



ACREAGE TABLE

LOT 1	0.380 ACRE
LOT 2	0.421 ACRE

LEGEND

B.C.C.O.	BRAZORIA COUNTY CLERK'S OFFICE
B.C.D.R.	BRAZORIA COUNTY DEED RECORDS
B.C.M.R.	BRAZORIA COUNTY MAP RECORDS
(C.M.)	CONTROL MONUMENT
FND	FOUND
H.L.&P.	HOUSTON LIGHTING AND POWER
R.O.W.	RIGHT-OF-WAY
I.P.	IRON PIPE
I.R.	IRON ROD
*	EXISTING STREETLIGHT

THE PURPOSE OF THIS AMENDING PLAT IS TO CREATE ONE LOT FROM TWO LOTS.

AMENDING PLAT OF LOTS "A" AND "B", BLOCK 1 OF WHISPERING WINDS SUBDIVISION

A SUBDIVISION OF 2.101 ACRES LOCATED IN THE THOMAS J. GREEN SURVEY, ABSTRACT NO. 198, IN THE CITY OF PEARLAND, BRAZORIA COUNTY, TEXAS

1 BLOCK 1 LOT
OCTOBER, 2016
2911 WESTMINSTER ROAD

OWNER:
GREENSPACE HOLDINGS, LLC
1100 NASA PARKWAY, SUITE 685
HOUSTON, TEXAS 77058
PHONE: (832) 982-0600

PREPARED BY:

THE WILSON SURVEY GROUP
PROFESSIONAL LAND SURVEYORS
2006 E. BROADWAY PEARLAND, TEXAS
(281) 485-3991 FAX (281) 485-3998
CONTACT: CHRIS L. HENDRICK

CERTIFICATE OF SURVEYOR

I, MICHAEL D. WILSON, AM REGISTERED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF SURVEYING AND HEREBY CERTIFY THAT THE ABOVE SUBDIVISION IS TRUE AND CORRECT; WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND; THAT ALL BOUNDARY CORNERS, ANGLE POINTS, POINTS OF CURVATURE AND OTHER POINTS OF REFERENCE HAVE BEEN MARKED WITH IRON (OR OTHER SUITABLE PERMANENT METAL PIPES OR RODS) HAVING AN OUTSIDE DIAMETER OF NOT LESS THAN FIVE-EIGHTH (5/8) INCH AND A LENGTH OF NOT LESS THAN TWO (2) FEET, UNLESS OTHERWISE NOTED.

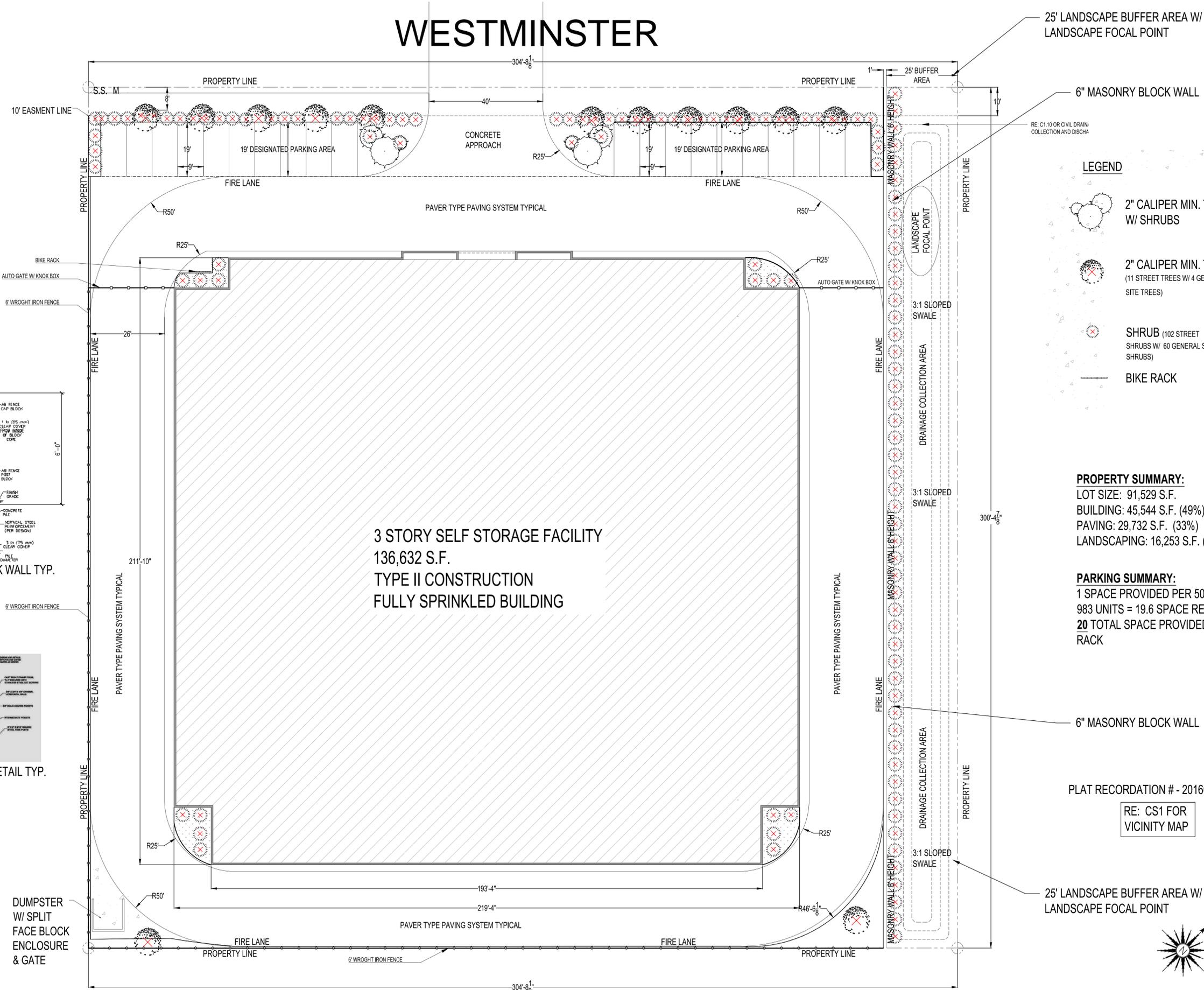
Michael D. Wilson

MICHAEL D. WILSON
REGISTERED PROFESSIONAL
LAND SURVEYOR NO. 4821



2016051797
Brazoria County - Joyce Hudman, County Clerk
10/29/2016 01:48 PM
Total Pages: 1
Fee: 121.00
Joyce Hudman

WESTMINSTER



- LEGEND**
- 2" CALIPER MIN. TREE W/ SHRUBS
 - 2" CALIPER MIN. TREE (11 STREET TREES W/ 4 GENERAL SITE TREES)
 - SHRUB (102 STREET SHRUBS W/ 60 GENERAL SITE SHRUBS)
 - BIKE RACK

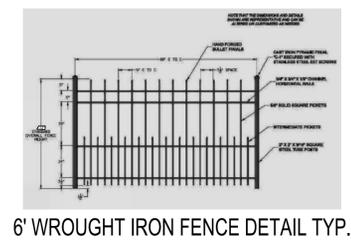
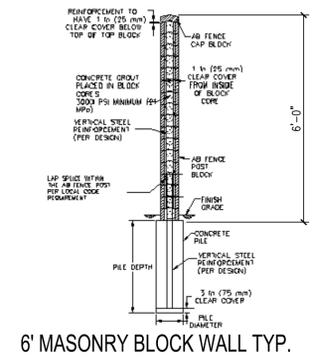
PROPERTY SUMMARY:
 LOT SIZE: 91,529 S.F.
 BUILDING: 45,544 S.F. (49%)
 PAVING: 29,732 S.F. (33%)
 LANDSCAPING: 16,253 S.F. (18%)

PARKING SUMMARY:
 1 SPACE PROVIDED PER 50 UNITS
 983 UNITS = 19.6 SPACE REQUIRED
20 TOTAL SPACE PROVIDED W/ BIKE RACK

PLAT RECORDATION # - 2016051797

RE: CS1 FOR VICINITY MAP

25' LANDSCAPE BUFFER AREA W/ LANDSCAPE FOCAL POINT



PROJECT TITLE
GREEN SPACE STORAGE FACILITY
 2911 WESTMINSTER
 PEARLAND, TEXAS 77591

A PROJECT FOR:
 TMS CONTRACTORS, LLC
 713-256-3945
 STEFAN KNIELING
 PRESIDENT
SKNIELING@TMSCONTRACTORSLLC.COM



11-04-16	DESIGN DOCUMENTS

PROJECT NO: 070116
 DRAWN BY: MJM
 CHECKED BY: SK
MALONEY SERVICES L.L.C. 2016. THIS OFFICE ASSUMES NO LIABILITY FOR ERRORS OR OMISSIONS ON THESE PLANS. ALL INFORMATION MUST BE CONFIRMED PRIOR TO COMMENCEMENT OF CONSTRUCTION. IT IS THE OWNERS AND BUILDERS RESPONSIBILITY FOR FOLLOWING MATERIAL AND MANUFACTURERS INSTRUCTIONS, AND USING RECOGNIZED STANDARDS FOR EACH TRADE, AS WELL AS COMPLIANCE IN FULL WITH ALL GOVERNING CODE REQUIREMENTS FOR THE GEOGRAPHIC AREA IN WHICH THIS PROJECT IS TO BE CONSTRUCTED.

SHEET TITLE
SITE PLAN

SHEET NUMBER
SP1.10

GENERAL NOTES

- ALL WORK PERFORMED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES HAVING JURISDICTION.
- BEFORE PERFORMING ANY WORK OR ORDERING ANY MATERIALS, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS OF ANY EXISTING OR NEW WORK AND SHALL BE RESPONSIBLE FOR THEIR ACCURACY, ANY DIFFERENCES FOUND SHALL BE SUBMITTED TO THE ARCHITECT FOR CONSIDERATION BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL ALSO VERIFY THE LOCATION OF EXISTING UTILITIES PRIOR TO BEGINNING WORK.
- OWNER SHALL PAY FOR GENERAL BUILDING PERMIT, IMPACT FEES & UTILITY TAP FEES. G.C. SHALL PAY FOR REMAINING PERMITS & FEES.
- UTILITIES SHALL BE PROVIDED BY OWNER.
- CONTRACTOR SHALL INCLUDE ALL LABOR, MATERIALS, EQUIPMENT, FIXTURES, AND SERVICE NECESSARY FOR THE PROPER EXECUTION OF THE PLANS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACTS AND OMISSIONS OF ALL HIS EMPLOYEES AND SUBCONTRACTORS.
- CONTRACTOR SHALL SUPERVISE THE WORK AND COORDINATE ALL PORTIONS THEREOF.
- ALL MATERIALS AND EQUIPMENT INCORPORATED IN THE WORK SHALL BE NEW UNLESS OTHERWISE SPECIFIED AND ALL WORK SHALL BE OF GOOD QUALITY, FREE FROM FAULTS AND IN CONFORMANCE WITH THE PLANS.
- NOT USED.
- CONTRACTOR SHALL KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY HIS OPERATIONS. AT THE COMPLETION OF THE WORK HE SHALL PERFORM A FINAL CLEAN-UP INSIDE, CLEAN ALL GLASS SURFACES AND LEAVE THE WORK ROOM CLEAN.
- CONTRACTOR SHALL GUARANTEE FOR (1) ONE YEAR THAT ALL OF THE WORK UNDER THE CONTRACT IS FREE FROM FAULTY MATERIALS, WATER-TIGHT, AND LEAK PROOF IN EVERY PARTICULAR AND FREE FROM IMPROPER WORKMANSHIP.

- CONTRACTOR SHALL PROVIDE PROOF TO OWNER THAT ADEQUATE LIABILITY INSURANCE HAS BEEN OBTAINED.
- CONTRACTOR WILL BE HELD RESPONSIBLE FOR STUDYING DRAWINGS, TO HAVE VISITED THE SITE, AND TO HAVE SATISFIED HIMSELF REGARDING ALL EXISTING CONDITIONS UNDER WHICH HE WILL BE OBLIGED TO OPERATE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF EXISTING AND NEW WORK. ANY WORK DAMAGE FOR ANY REASON SHALL BE REPLACED AT NO COST TO THE OWNER.
- SUBSTITUTIONS, REVISIONS OR CHANGES MAY BE ALLOWED ONLY IF SUCH ITEMS ARE SUBMITTED TO THE OWNER IN A TIMELY MANNER IN WRITING AND SUBSEQUENTLY APPROVED BY THE ARCHITECT IN DESIGN AND PERFORMANCE. THE CONTRACTOR IS LIABLE FOR REPLACEMENT, REPAIR AND DELAYS CAUSED BY ANY UNAUTHORIZED SUBSTITUTION, AND COMPLETE SPECIFICATIONS AND DRAWINGS AS REQUIRED COMPARING ITEMS. THE OWNER RESERVES THE RIGHT TO REJECT FOR ANY REASON.
- NOTE USED.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- NOT USED.
- WHERE DISCREPANCIES EXIST IN DRAWINGS THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY AND IF HE FAILS TO DO IT WILL BE HIS RESPONSIBILITY TO CORRECT THE SITUATION REASONABLY AS PER THE OWNER DIRECTION ENLARGED SCALE DRAWINGS (DETAILS SHALL GOVERN OVER SMALLER SCALED DRAWINGS AND SPECIFICATIONS SHALL GOVERN ALL.
- NOT USED.

- SHOP DRAWINGS SHALL BE SUBMITTED TO THE OWNER FOR APPROVAL PRIOR TO FABRICATION OF ANY ITEM. FAILURE TO ADHERE TO THIS PROCEDURE SHALL PLACE FULL RESPONSIBILITY FOR ANY ERRORS DIRECTLY UPON THE CONTRACTOR.
- UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TO STUD FRAMING.
- THE SUBMISSION OF A BID OR PROPOSAL WILL BE CONSTRUED AS EVIDENCE THAT THE CONTRACTOR HAS FAMILIARIZED HIMSELF WITH THE PLANS AND EXISTING CONDITIONS OF THE BUILDING SITE. CLAIMS MADE SUBSEQUENT TO THE PROPOSAL FOR MATERIALS AND LABOR BECAUSE OF DIFFICULTIES ENCOUNTERED WILL NOT BE RECOGNIZED IF THEY COULD HAVE BEEN FORESEEN HAD PROPER EXAMINATION BEEN MADE.
- PRIOR TO STARTING CONSTRUCTION THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION OF ANY ITEM SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED ALL PLANS AND ANY OTHER APPROVALS FROM GOVERNMENTAL AGENCIES OR OTHER REGULATORY AUTHORITIES HAVING JURISDICTION OVER THE PROJECT. FAILURE OF THE CONTRACTOR TO FOLLOW THIS PROCEDURE SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATION OF THE WORK MANDATED BY ANY REGULATORY AUTHORITY.

- CONTRACTOR TO BALANCE SYSTEM FOR ADEQUATE AIR DISTRIBUTION WITHIN ALL CONDITIONED AREAS TO THE OWNER'S SATISFACTION. (UNLESS CERTIFIED TEST & BALANCE REPORT IS REQUIRED BY LOCAL AUTHORITY.)
- CONTRACTOR SHALL SUBMIT ALL SPECIALTY FINISHES SAMPLES TO THE OWNER FOR APPROVAL PRIOR TO FINAL FINISHING. IF FAILURE TO SUBMIT SAMPLES FOR APPROVAL THE CONTRACTOR WILL BE RESPONSIBLE FOR REFINISHING TO THE OWNER'S SATISFACTION.

- ALL GYPSUM BOARD TO BE 5/8" TYPE "X" UNLESS NOTED OTHERWISE. IN DAMP AREAS GREEN GYPSUM SHALL BE USED IN LIEU OF GYP. BOARD. IN WET AREAS DUR-ROCK OR CONC./MESH BD. SHALL BE USED.
- ALL WORK ON THIS PROJECT SHALL BE IN CONFORMANCE WITH THE FOLLOWING:
 - STATE AND LOCAL BUILDING CODE LATEST EDITION
 - NATIONAL FIRE CODES: BY NFPA
 - NATIONAL ELECTRICAL CODE (LATEST EDITION)
 - NATIONAL PLUMBING CODE
 - NATIONAL SANITATION FOUNDATIONS (N.S.F.)
 - OCCUPATIONAL SAFETY AND HEALTH STANDARDS - 1910, CHAPTER XVII OF TITLE 20, CODE OF FEDERAL REGULATIONS.
 - REGULATIONS BY UTILITY COMPANIES SUPPLYING UTILITIES TO THE PROJECT, BOTH TEMPORARILY AND PERMANENTLY.
 - COMPRESSED GAS ASSOCIATION (C.G.A.)
 - FIRE RESISTANCE RATINGS: BY AMERICAN INSURANCE ASSOCIATION.

MATERIAL DESIGNATIONS

	EARTH
	POROUS FILL (STONE OR GRAVEL, SUB BASE, ETC.)
	ROCK
	LIGHTWEIGHT CONCRETE (STRUCTURAL, INSULATING FILL)
	STRUCTURAL CONCRETE (CAST IN PLACE, OR PRECAST)
	BRICK (COMMON OR FACE)
	CONCRETE MASONRY UNITS (CMU)
	CUT STONE, CAST STONE
	MARBLE
	SLATE, BLUESTONE, SOAPSTONE, FLAGGING
	STRUCTURAL CLAY TILE
	METAL (LARGE SCALE)
	METAL (SMALL SCALE STRUCTURAL & SHEET)
	PLYWOOD (LARGE SCALE)
	WOOD FINISH
	WOOD ROUGH (CONTINUOUS)
	WOOD ROUGH (BLOCKING)
	INSULATION (LOOSE OR BAT)
	INSULATION (RIGID)
	GLASS (LARGE SCALE)
	ACOUSTICAL TILE
	CERAMIC TILE (LARGE SCALE)
	GYPSUM WALL BOARD (LARGE SCALE)
	GYPSUM DRYWALL SYSTEM PARTITION OR WALL
	PLASTER, SAND, CEMENT, GROUT
	TERRAZZO
	GLASS BLOCK

GRAPHIC SYMBOLS

	ROOM/SPACE NUMBER
	DOOR NUMBER (IF MORE THAN ONE DOOR PER ROOM SUBLETTERS ARE USED)
	WINDOW NUMBER
	COLOR OR FINISH CODE (FOR COLOR SCHEDULE, IF USED)
	EXTERIOR SECTION REFERENCE DRAWING NUMBER
	EXTERIOR ELEVATION REFERENCE DRAWING NUMBER
	INTERIOR SECTION REFERENCE DRAWING NUMBER
	INTERIOR ELEVATION REFERENCE DRAWING NUMBER
SECTION LINES AND SECTION REFERENCES	
	INDICATES SECTION NUMBER
	INDICATES DRAWING SHEET ON WHICH DETAIL IS SHOWN
DETAIL REFERENCES	
	INDICATES DETAIL NUMBER
	INDICATES DRAWING SHEET ON WHICH DETAIL IS SHOWN
	COLUMN REFERENCE GRIDS
STAIR DIRECTION SYMBOL	
	FACE OF RISER
DIMENSION SYMBOL	
	DIMENSION TO DIMENSION LINE - DIMENSION TO FACE OF FRAMING UNLESS SHOWN OTHERWISE ON LARGE SCALE DRAWING
	DIMENSION TO COLUMN LINE

GRAPHIC SYMBOLS

	CENTER LINES, FLOOR LINES IN EXTERIOR ELEVATIONS, PROJECTED LINES
	PROPERTY LINES, BOUNDARY LINES
	CORNER POINT
	NEW OR REQUIRED POINT ELEVATION
	GRADING PLAN
	ARCHITECTURAL
	EXISTING POINT ELEVATION
	EXISTING CONTOURS
	NEW CONTOURS
	HEAVY SOLID LINES WITH ELEVATION NOTED IN LINE LEAVE-OUTS
	TEST BORING
	REVISION TO DRAWING

STANDARD ABBREVIATIONS

SYMBOLS USED AS ABBREVIATIONS	ABBREVIATIONS	ABBREVIATIONS	ABBREVIATIONS
A AND	ABOVE	ABOVE FINISHED FLOOR	ACCESS
ANGLE	AC	ACOUSTICAL	AD
AT SPACING OF	ACFL	ACCESS FLOOR	AP
B.M. BENCH MARK	ACR	ACRYLIC PLASTIC	ADJ
DI	ADJUSTABLE	AGG	AGGREGATE
DL	AL	ALUMINUM	A/C
DN	ANCHOR	ANCHORAGE	AB
DR	ANCHORBOLT	ARCHITECT, ARCHITECTURAL	AD
DTA	AREA DRAIN	ASPH	ASPHALT
DT	ASPHALT TILE	AUTO	AUTOMATIC
DT	BASEMENT	AMN	ANNING
DT	BASE LINE	BL	BASE LINE
DT	BEAM	BRG	BEARING
DT	BEL	BELOW	BEL
DT	BENCH MARK	BT	BOTTOM
DT	BETWEEN	BV	BEVELED
DT	BEYOND	BY	BEYOND
DT	BLOCK	BLK	BLOCK
DT	BLOCKING	BD	BOARD
DT	BOARD	BS	BOTH SIDES
DT	BOTTOM	BRKT	BRACKET
DT	BRASS	BRS	BRASS
DT	BRICK	BRK	BRICK
DT	BRONZE	BRZ	BRONZE
DT	BUILDING	BLDG	BUILDING
DT	BUILT UP ROOFING	BU	BUILT UP ROOFING
DT	BULLET RESISTANT GLASS	BRGL	BULLET RESISTANT GLASS
DT	BY OWNER	BO	BY OWNER
DT	CABINET	CAB	CABINET
DT	CANVAS	CAN	CANVAS
DT	CARRIET	CMT	CARRIET
DT	CASEMENT	CSMT	CASEMENT
DT	CAST IRON	CI	CAST IRON
DT	CAST STONE	CS	CAST STONE
DT	CATCH BASIN	CB	CATCH BASIN
DT	CEILING	CLG	CEILING
DT	CEILING HEIGHT	CHT	CEILING HEIGHT
DT	CEMENT	CEM	CEMENT
DT	CENTIMETER (S)	CM	CENTIMETER (S)
DT	CERAMIC TILE	CT	CERAMIC TILE
DT	CHAMFER	CHAM	CHAMFER
DT	CHIMNEY	CHM	CHIMNEY
DT	CHROMIUM	CR	CHROMIUM
DT	CIRCLE	CIR	CIRCLE
DT	CIRCUMFERENCE	CF	CIRCUMFERENCE
DT	CLEAR, CLEARANCE	CLR	CLEAR, CLEARANCE
DT	CLOSURE	CLS	CLOSURE
DT	COATED GLASS	COL	COATED GLASS
DT	COLUMN	COL	COLUMN
DT	COMBINATION	COMB	COMBINATION
DT	COMMON	COM	COMMON
DT	COMPARTMENT	COMP	COMPARTMENT
DT	COMPOSITION, COMPOSITE	COMP	COMPOSITION, COMPOSITE
DT	COMPRESS. (ED), (ONS), (IBLE)	COMP	COMPRESS. (ED), (ONS), (IBLE)
DT	CONCRETE	CONC	CONCRETE
DT	CONCRETE MASONRY UNIT	CMU	CONCRETE MASONRY UNIT
DT	CONNECTION	CONN	CONNECTION
DT	CONSTRUCTION	CONSTR	CONSTRUCTION
DT	CONTINUE, CONTINUOUS	CONT	CONTINUE, CONTINUOUS
DT	CONTRACT, CONTRACTOR	CONTR	CONTRACT, CONTRACTOR
DT	CORNER, CORNER JOINT	COR	CORNER, CORNER JOINT
DT	COPPER	CPR	COPPER
DT	CORNER DIAMETER	CD	CORNER DIAMETER
DT	CORRUGATED	CORR	CORRUGATED
DT	COUNTER	CTR	COUNTER
DT	COUNTERSINK	CS	COUNTERSINK
DT	COURSE	CRS	COURSE
DT	CUBIC FOOT	CU FT	CUBIC FOOT
DT	CUBIC YARD	CU YD	CUBIC YARD
DT	DAMP	DMP	DAMP
DT	DAMP-PROOFING	DP	DAMP-PROOFING
DT	DEAD LOAD	DL	DEAD LOAD
DT	DEMOLISH, DEMOLITION	DMT	DEMOLISH, DEMOLITION
DT	DEMURABLE	DEM	DEMURABLE
DT	DETAIL	DTL	DETAIL
DT	DIAGONAL	DIAG	DIAGONAL
DT	DIAMETER	DA	DIAMETER
DT	DIMENSION	DM	DIMENSION
DT	DISPENSER	DISP	DISPENSER
DT	DIVISION	DIV	DIVISION
DT	DOWN	DN	DOWN
DT	DOWNDRAFT	DD	DOWNDRAFT
DT	DRAIN TILE	DT	DRAIN TILE
DT	DRAWER	DWR	DRAWER
DT	DRAWING	DWG	DRAWING
DT	DRINKING FOUNTAIN	DF	DRINKING FOUNTAIN
DT	DUMPER	DMR	DUMPER
DT	EACH	EACH	EACH
DT	EACH WAY	EW	EACH WAY
DT	EASEMENT	ESMT	EASEMENT
DT	EAST	E	EAST
DT	ELECTRIC, (AL)	ELEC	ELECTRIC, (AL)
DT	ELECTRICAL PANELBOARD	EP	ELECTRICAL PANELBOARD
DT	ELECTRIC WATER COOLER	EW	ELECTRIC WATER COOLER
DT	ELEVATION (VERTICAL HEIGHT)	EL	ELEVATION (VERTICAL HEIGHT)
DT	ELEVATOR	ELEV	ELEVATOR
DT	EMERGENCY	EMER	EMERGENCY
DT	ENCLOSURE, (URE)	ENC	ENCLOSURE, (URE)
DT	EQUAL	EQL	EQUAL
DT	EQUIPMENT	EQP	EQUIPMENT
DT	ESCALATOR	ESC	ESCALATOR
DT	ESTIMATE	EST	ESTIMATE
DT	EXHAUST	EXH	EXHAUST
DT	EXISTING	EXIST	EXISTING
DT	EXISTING METAL PLATE	EMPP	EXISTING METAL PLATE
DT	EXPANSION BOLT	EB	EXPANSION BOLT
DT	EXPANSION JOINT	EJ	EXPANSION JOINT
DT	EXPOSED	EXP	EXPOSED
DT	FACE OF CONCRETE	FC	FACE OF CONCRETE
DT	FACE OF FINISH	FF	FACE OF FINISH
DT	FACE OF MASONRY	FOM	FACE OF MASONRY
DT	FACE OF STUDS	FOS	FACE OF STUDS
DT	FASTEN, FASTENER	FAST	FASTEN, FASTENER
DT	FENCE	FN	FENCE
DT	FIBERBOARD	FIB	FIBERBOARD
DT	FIBERGLASS	FGL	FIBERGLASS
DT	FINISH, FINISH ELEVATION	FIN	FINISH, FINISH ELEVATION
DT	FINISHED FLOOR ELEVATION	FFE	FINISHED FLOOR ELEVATION
DT	FINISHED FLOOR LINE	FFL	FINISHED FLOOR LINE
DT	FIRE ALARM	FA	FIRE ALARM
DT	FIRE EXTINGUISHER	FE	FIRE EXTINGUISHER
DT	FIRE EXTINGUISHER CABINET	FEC	FIRE EXTINGUISHER CABINET
DT	FIRE HOSE STATION	FHS	FIRE HOSE STATION
DT	FIRE NOT TO SCALE	NTS	FIRE NOT TO SCALE
DT	FIRE-RETARDANT	FR	FIRE-RETARDANT
DT	FIXTURE	FIXT	FIXTURE
DT	FLASHING	FLG	FLASHING
DT	FLEXIBLE	FLX	FLEXIBLE
DT	FLOAT GLASS	FG	FLOAT GLASS
DT	FLOOR, (ING)	FLR	FLOOR, (ING)
DT	FLOOR DRAIN	FD	FLOOR DRAIN
DT	FLOOR LINE	FL	FLOOR LINE
DT	FLOURESCENT	FLUR	FLOURESCENT
DT	FLUSH JOINT	FJ	FLUSH JOINT
DT	FOOTING	FTG	FOOTING
DT	FOUNDATION	FD	FOUNDATION
DT	FRAME, (S), (ING)	FR	FRAME, (S), (ING)
DT	FULL SIZE	FS	FULL SIZE
DT	FUR, (ING)	FUR	FUR, (ING)
DT	FUTURE	FUT	FUTURE
DT	GAGE GAUGE	GA	GAGE GAUGE
DT	GALVANIZED	GV	GALVANIZED
DT	GASKET, (ED)	GKT	GASKET, (ED)
DT	GENERAL CONTRACT, (OR)	GC	GENERAL CONTRACT, (OR)
DT	GLASS, GLAZING	GL	GLASS, GLAZING
DT	GLASS BLOCK	GLB	GLASS BLOCK
DT	GLAZED CONCRETE MASONRY UNITS	GCMU	GLAZED CONCRETE MASONRY UNITS
DT	GLASS LAMINATE	GLL	GLASS LAMINATE
DT	GRAB BAR	GB	GRAB BAR
DT	GRANITE	GRN	GRANITE
DT	GRATE, (ING)	GRT	GRATE, (ING)
DT	GREENHOUSE	GRHS	GREENHOUSE
DT	GROUT	GRT	GROUT
DT	GUARD	GRD	GUARD
DT	GUTTER	GUT	GUTTER
DT	GYPSUM DRY WALL	GPW	GYPSUM DRY WALL
DT	GYPSUM LATH	GPL	GYPSUM LATH
DT	GYPSUM PLASTER	GPP	GYPSUM PLASTER
DT	GYPSUM TILE	GPT	GYPSUM TILE
DT	GYPSUM WALLBOARD	GW	GYPSUM WALLBOARD
DT	HANDICAP	HC	HANDICAP
DT	HARDWARE	HW	HARDWARE
DT	HARDBOARD	HBD	HARDBOARD
DT	HARDWOOD	HWD	HARDWOOD
DT	HEAD	HDR	HEAD
DT	HEATING	HTC	HEATING
DT	HEATING, VENTILATING/AIR CONDITIONING	HVAC	HEATING, VENTILATING/AIR CONDITIONING
DT	HEIGHT	HGT	HEIGHT
DT	HILL W/OUT	HWO	HILL W/OUT
DT	HOLLOW CORE	HCR	HOLLOW CORE
DT	HOLE, HOLE	HLE	HOLE, HOLE
DT	HORIZONTAL	HOR	HORIZONTAL
DT	HORIZONTAL REF., (ENCL)	HREF	HORIZONTAL REF., (ENCL)
DT	INCANDESCENT	INCAN	INCANDESCENT
DT	INCLUDE, (ED), (ING)	INCL	INCLUDE, (ED), (ING)
DT	INSULATE, (ED), (ING)	INS	INSULATE, (ED), (ING)
DT	INSULATING CONCRETE	ISC	INSULATING CONCRETE
DT	INSULATING GLASS	IGL	INSULATING GLASS
DT	INTERMEDIATE	INT	INTERMEDIATE
DT	INVERT	INTV	INVERT
DT	JANITOR'S CLOSET	JC	JANITOR'S CLOSET
DT	JOINT FILLER	JF	JOINT FILLER
DT	KICKPLATE	KPL	KICKPLATE
DT	KITCHEN	KIT	KITCHEN
DT	KNOCKOUT	KO	KNOCKOUT
DT	LABEL	LBL	LABEL
DT	LABORATORY	LAB	LABORATORY
DT	LADDER	LAD	LADDER
DT	LAG BOLT	LB	LAG BOLT
DT	LAMINATE, (ED)	LAM	LAMINATE, (ED)
DT	LAMINATED GLASS	LGL	LAMINATED GLASS
DT	LAWATORY	LAV	LAWATORY
DT	LAYOUT	LAY	LAYOUT
DT	LEFT HAND	LH	LEFT HAND
DT	LENGTH	LT	LENGTH
DT	LIGHT	LGT	LIGHT
DT	LIGHTWEIGHT	LW	LIGHTWEIGHT
DT	LIMESTONE	LST	LIMESTONE
DT	LIVE LOAD	LL	LIVE LOAD
DT	LOCATE	LOC	LOCATE
DT	LOOSE LAD	LLO	LOOSE LAD
DT	LOOSE LVR	LVR	LOOSE LVR
DT			

PROJECT TITLE

GREEN SPACE STORAGE FACILITY
 PEARLAND, TEXAS 77591

A PROJECT FOR:
 TMS CONTRACTORS, LLC
 713-256-3945
 STEFAN KNIELING
 PRESIDENT
SKNIELING@TMSCONTRACTORSLLC.COM



10-17-16	DESIGN DOCUMENTS

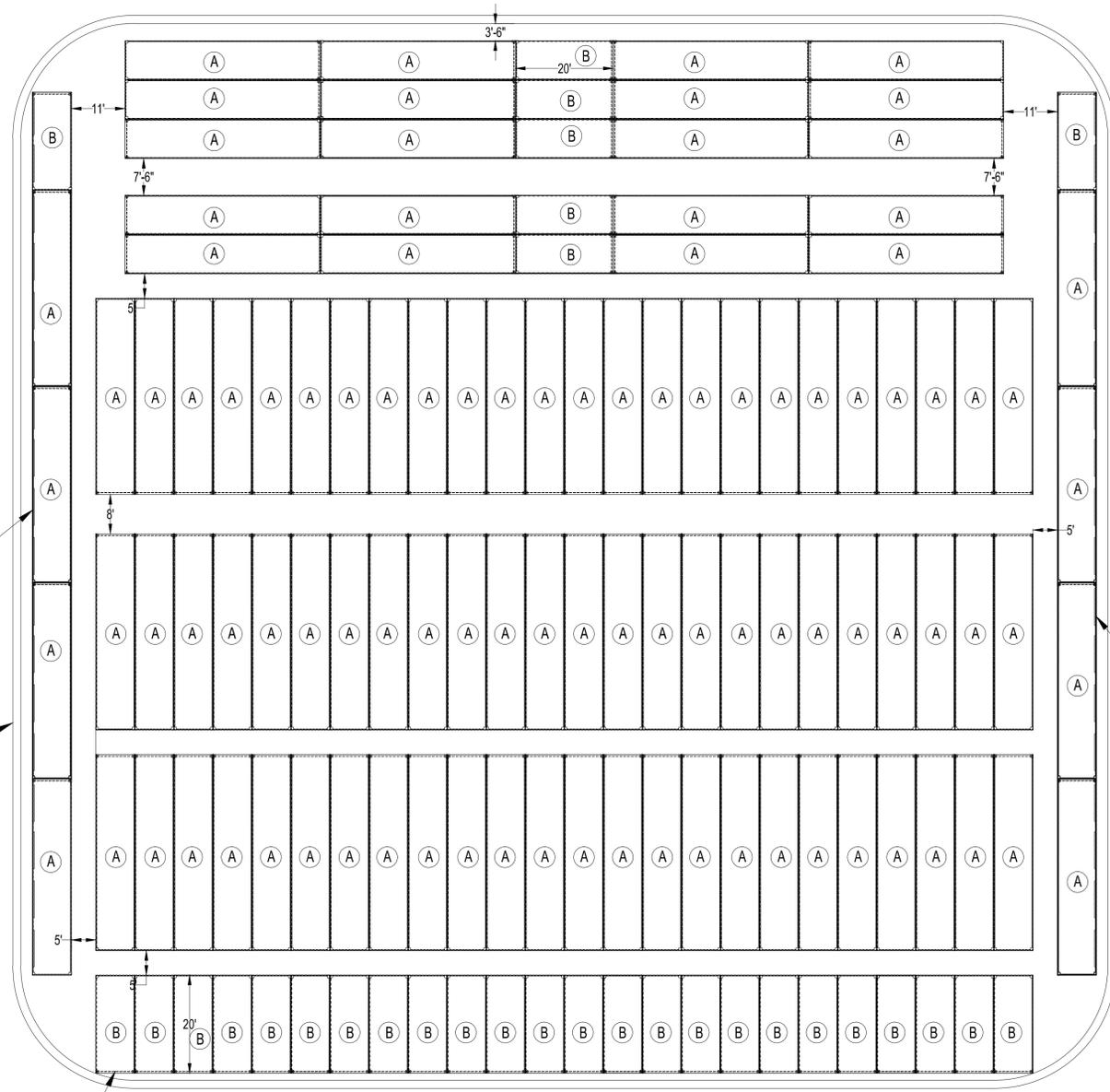
PROJECT NO: 070116
 DRAWN BY: MJM
 CHECKED BY: SK
MALONEY SERVICES L.L.C. 2016. THIS OFFICE ASSUMES NO LIABILITY FOR ERRORS OR OMISSIONS ON THESE PLANS. ALL INFORMATION MUST BE CONFIRMED PRIOR TO COMMENCEMENT OF CONSTRUCTION. IT IS THE OWNERS AND BUILDERS RESPONSIBILITY FOR FOLLOWING MATERIAL AND MANUFACTURERS INSTRUCTIONS, AND USING RECOGNIZED STANDARDS FOR EACH TRADE, AS WELL AS COMPLIANCE IN FULL WITH ALL GOVERNING CODE REQUIREMENTS FOR THE GEOGRAPHIC AREA IN WHICH THIS PROJECT IS TO BE CONSTRUCTED.

SHEET TITLE

CONTAINER LAYOUT

SHEET NUMBER

A1.10



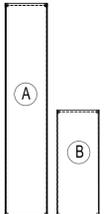
EXTERIOR ACCESS TO CONTAINER - 7'-6"W.
 GARAGE DOOR INSULATED TYP.

FIRE LANE LIMITS W/ 20" BUFFER TO BUILDING

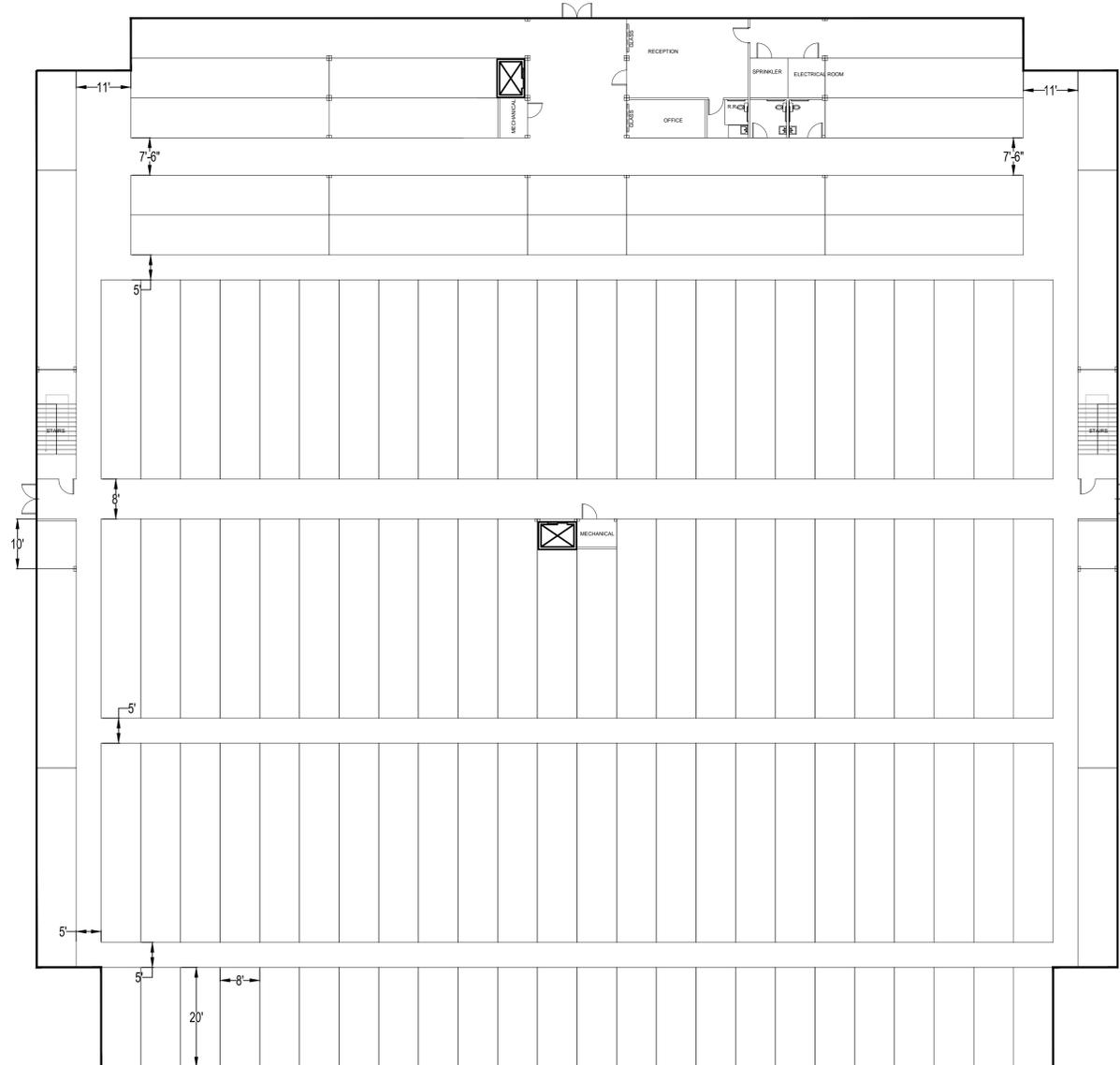
EXTERIOR ACCESS TO CONTAINER - 7'-6"W.
 GARAGE DOOR INSULATED TYP.

EXTERIOR ACCESS TO CONTAINER - 7'-6"W.
 GARAGE DOOR INSULATED TYP.

LEGEND



A = 40' LENGTH X 8' WIDTH X 9'-6" HEIGHT
 B = 20' LENGTH X 8' WIDTH X 9'-6" HEIGHT



Drawings Prepared By:
 Maloney Services
 832.257.4619
 maloneyservices@yahoo.com

PROJECT TITLE
**GREEN SPACE STORAGE
 FACILITY**
 PEARLAND, TEXAS 77591

A PROJECT FOR:
 TMS CONTRACTORS, LLC
 713-256-3945
 STEFAN KNIELING
 PRESIDENT
SKNIELING@TMSCONTRACTORSLLC.COM

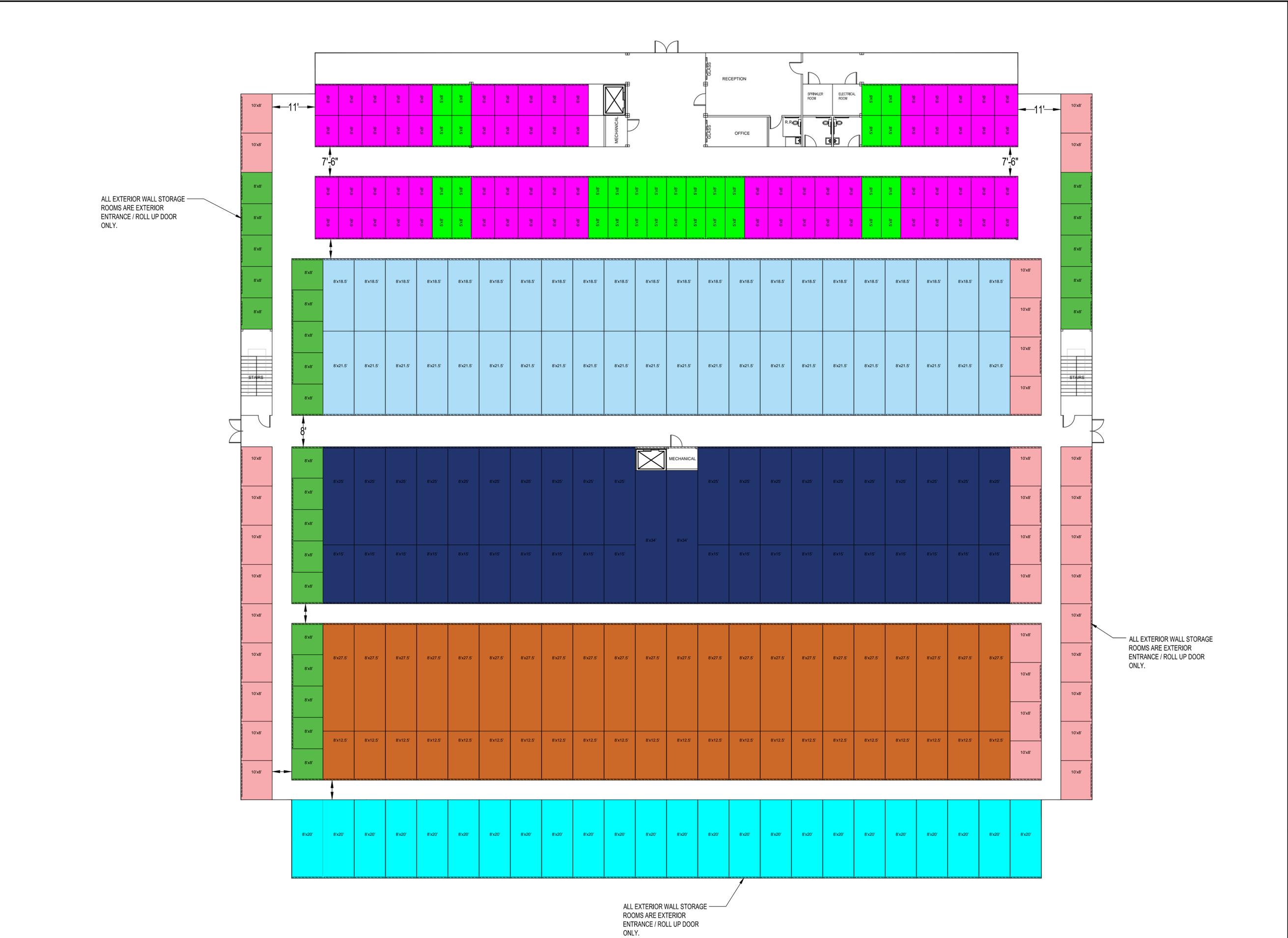


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SHEET TITLE
**FIRST FLOOR -
 FLOOR PLAN**

SHEET NUMBER
A1.20



Drawings Prepared By:
Maloney Services
832.257.4619
maloneyservices@yahoo.com

PROJECT TITLE
GREEN SPACE STORAGE FACILITY
PEARLAND, TEXAS 77591

A PROJECT FOR:
TMS CONTRACTORS, LLC
713-256-3945
STEFAN KNIELING
PRESIDENT
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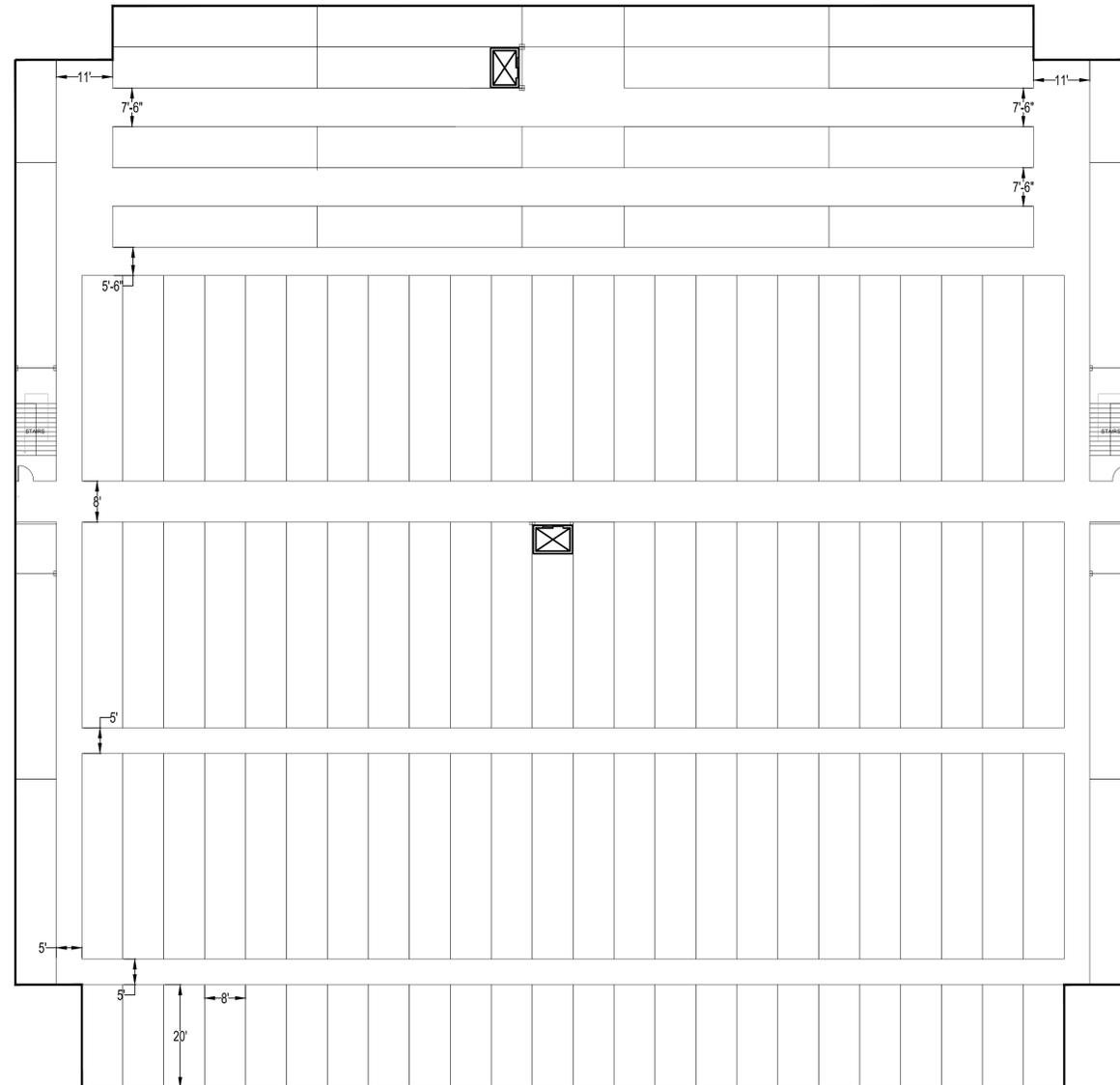


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SHEET TITLE
FIRST FLOOR - SPACE PLAN

SHEET NUMBER
A1.25



PROJECT TITLE

**GREEN SPACE STORAGE
 FACILITY
 PEARLAND, TEXAS 77591**

A PROJECT FOR:
 TMS CONTRACTORS, LLC
 713-256-3945
 STEFAN KNIELING
 PRESIDENT
SKNIELING@TMSCONTRACTORSLLC.COM



DATE	DESCRIPTION
10-17-16	DESIGN DOCUMENTS

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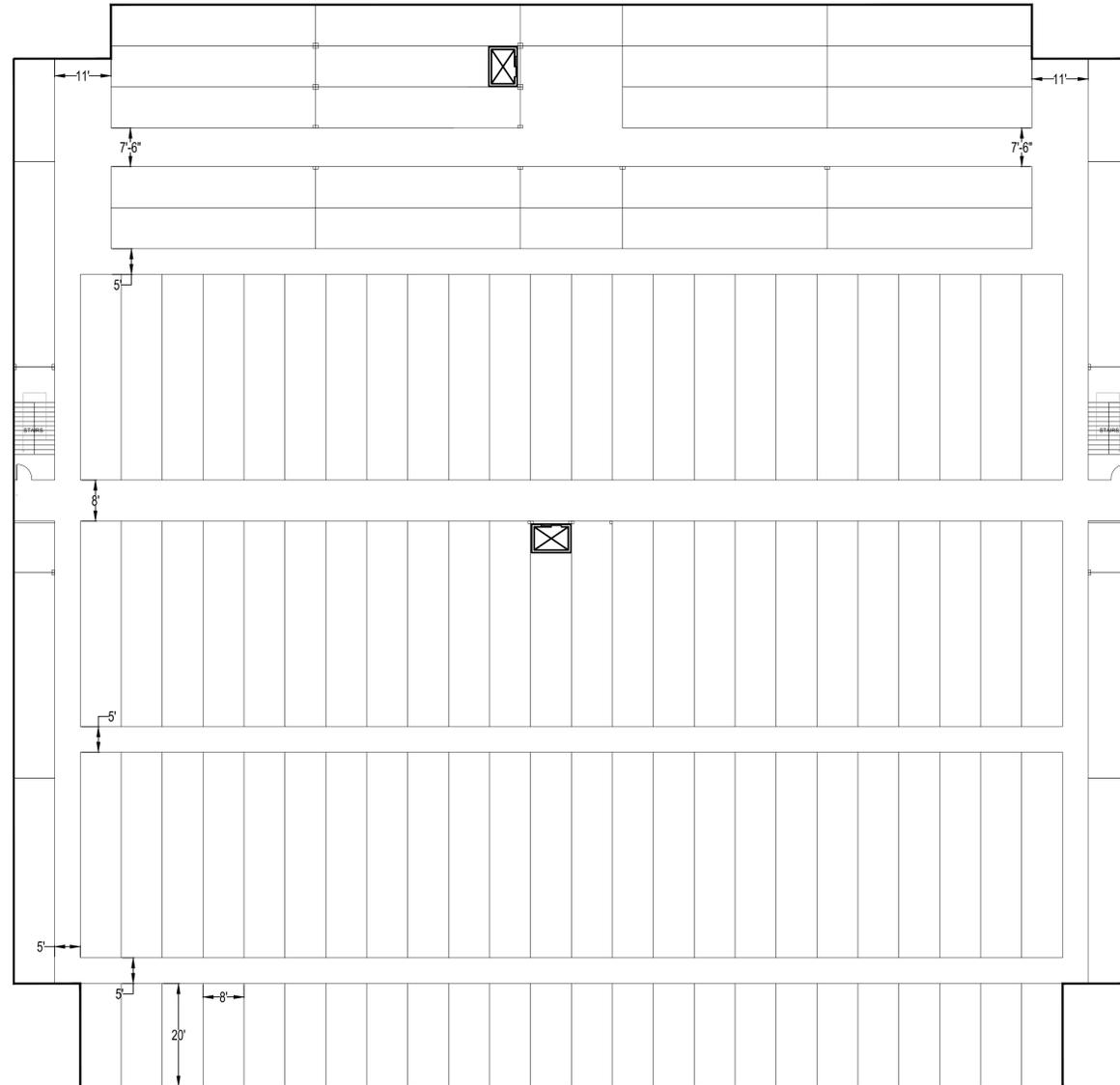
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SHEET TITLE

**SECOND FLOOR -
 FLOOR PLAN**

SHEET NUMBER

A1.30



Drawings Prepared By:
Maloney Services
832.257.4619
maloneyservices@yahoo.com

PROJECT TITLE

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PEARLAND, TEXAS 77591**

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TMS CONTRACTORS, LLC
713-256-3945
STEFAN KNIELING
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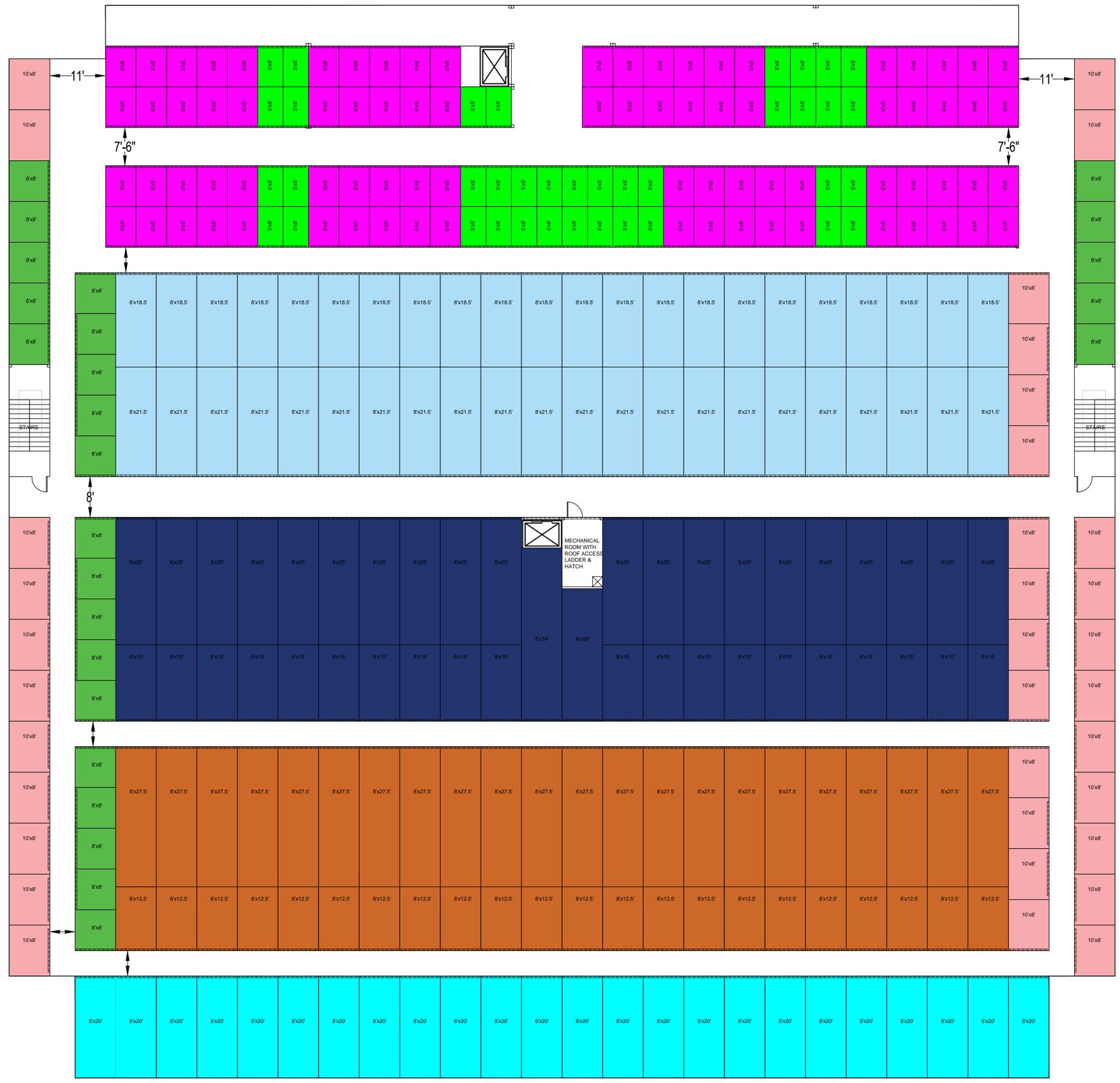
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SHEET TITLE
**THIRD FLOOR -
FLOOR PLAN**

SHEET NUMBER
A1.40



PROJECT TITLE
GREEN SPACE STORAGE FACILITY
 PEARLAND, TEXAS 77591

A PROJECT FOR:
 TMS CONTRACTORS, LLC
 713-256-3945
 STEFAN KNIELING
 PRESIDENT
SKNIELING@TMSCONTRACTORSLLC.COM

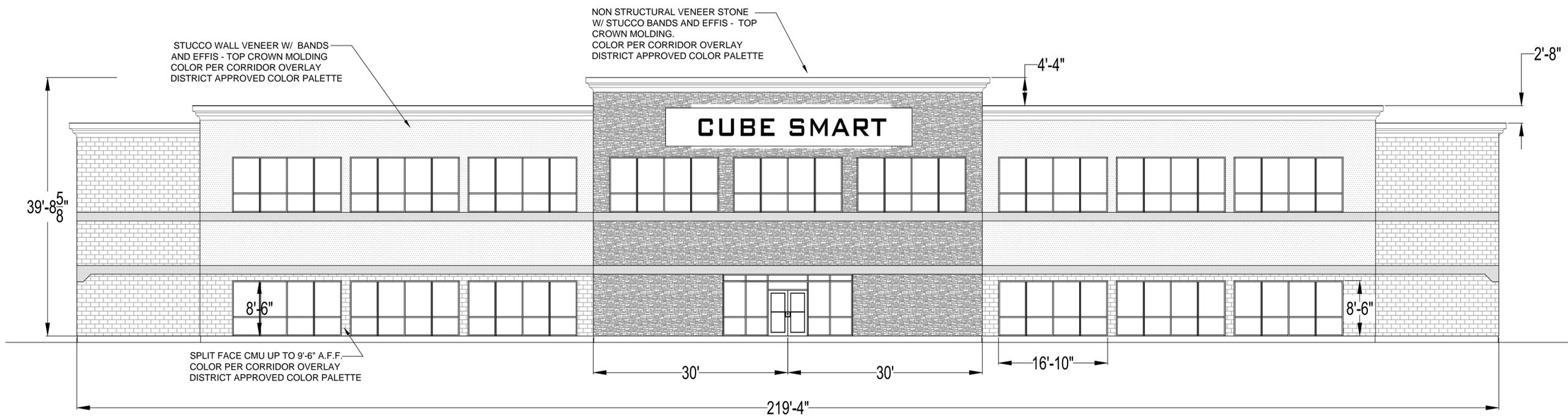


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SHEET TITLE
THIRD FLOOR - SPACE PLAN

SHEET NUMBER
A1.45



STUCCO WALL VENEER W/ BANDS AND EFFIS - TOP CROWN MOLDING
 COLOR PER CORRIDOR OVERLAY
 DISTRICT APPROVED COLOR PALETTE

NON STRUCTURAL VENEER STONE W/ STUCCO BANDS AND EFFIS - TOP CROWN MOLDING.
 COLOR PER CORRIDOR OVERLAY
 DISTRICT APPROVED COLOR PALETTE

SPLIT FACE CMU UP TO 9'-6" A.F.F.
 COLOR PER CORRIDOR OVERLAY
 DISTRICT APPROVED COLOR PALETTE

MATERIALS LEGEND:

	FRONT	ENTIRE BLDG
GLAZING:	2,350 (29%)	2,350 (9%)
STUCCO:	2,279 (29%)	5,279 (20%)
SPLIT FACE CMU:	1,350 (17%)	15,609 (61%)
STONE VENEER:	1,471 (19%)	1,471 (8%)
WALL SIGN:	270 (6%)	540 (2%)
TOTAL ELEVATION	7,720 (100%)	25,249 S.F. TOTAL (100%)

PROJECT TITLE
GREEN SPACE STORAGE FACILITY
 2911 WESTMINSTER
 PEARLAND, TEXAS 77591

A PROJECT FOR:
 TMS CONTRACTORS, LLC
 713-256-3945
 STEFAN KNIELING
 PRESIDENT
SKNIELING@TMSCONTRACTORSLLC.COM

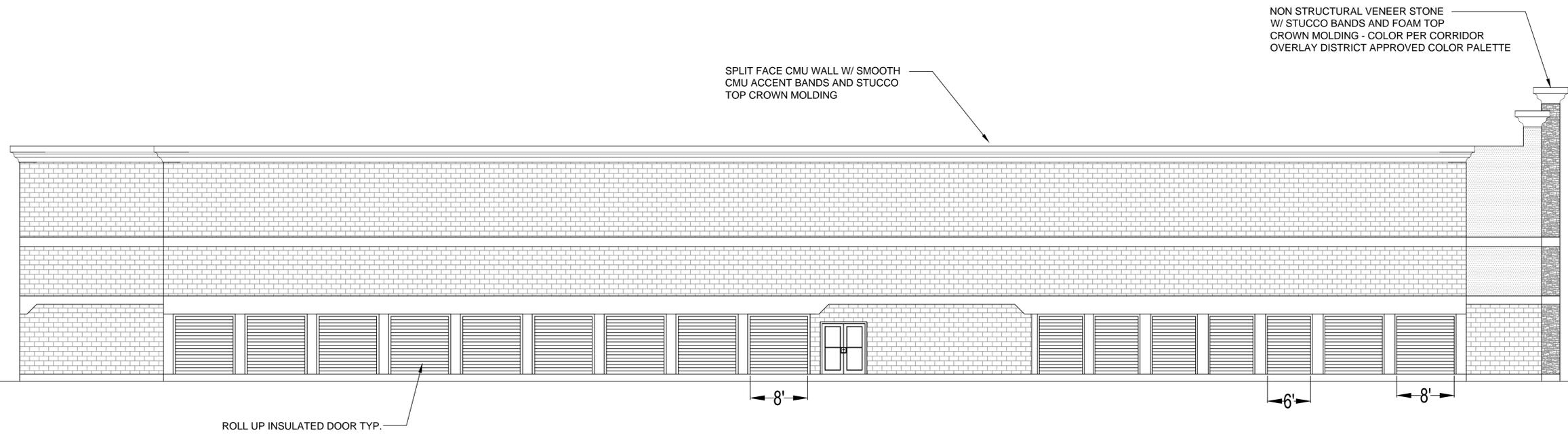


DATE	DESCRIPTION
11-04-16	DESIGN DOCUMENTS

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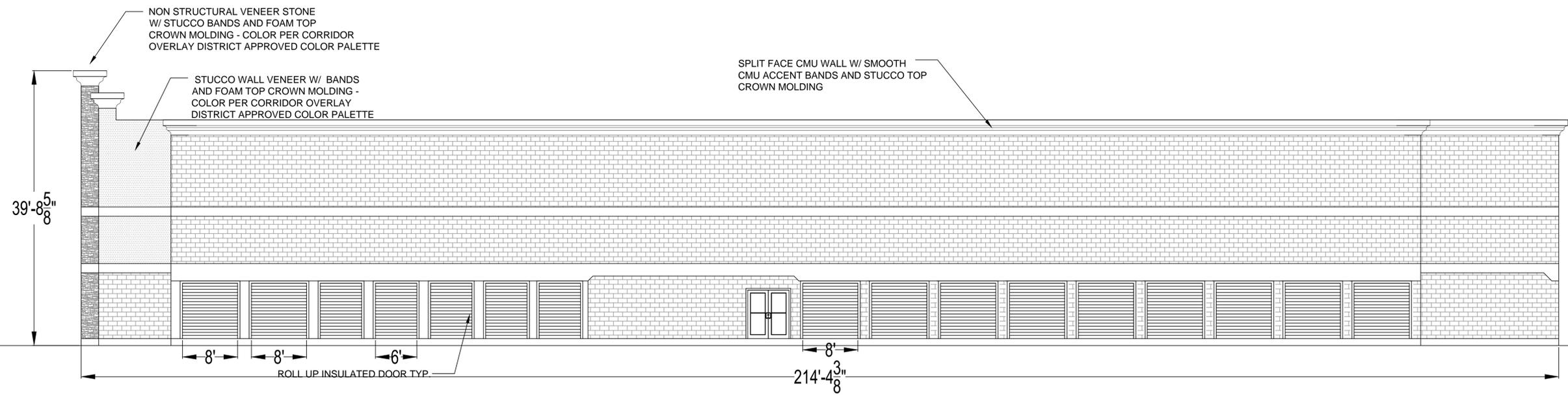
SHEET TITLE
FRONT ELEVATION

SHEET NUMBER
A1.50



NORTH ELEVATION

SCALE: 1/8"=1'-0" 02



SOUTH ELEVATION

SCALE: 1/8"=1'-0" 01

PROJECT TITLE

GREEN SPACE STORAGE FACILITY
 2911 WESTMINSTER
 PEARLAND, TEXAS 77591

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11-04-16	DESIGN DOCUMENTS

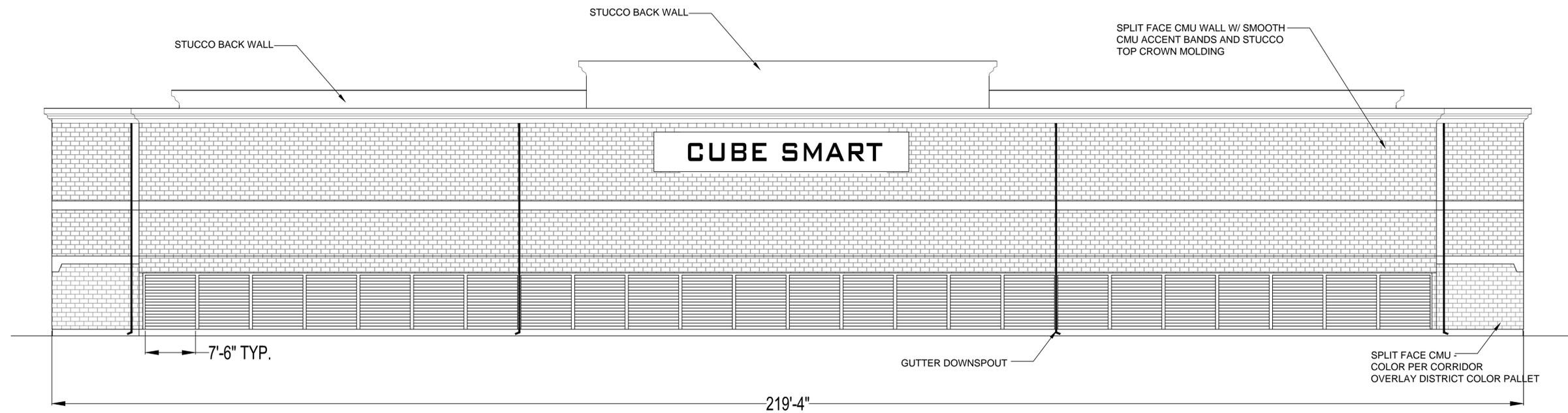
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SHEET TITLE

SIDE ELEVATIONS

SHEET NUMBER

A1.60



PROJECT TITLE

GREEN SPACE STORAGE FACILITY
 2911 WESTMINSTER
 PEARLAND, TEXAS 77591

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 713-256-3945
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SKNIELING@TMSCONTRACTORSLLC.COM



11-04-16	DESIGN DOCUMENTS

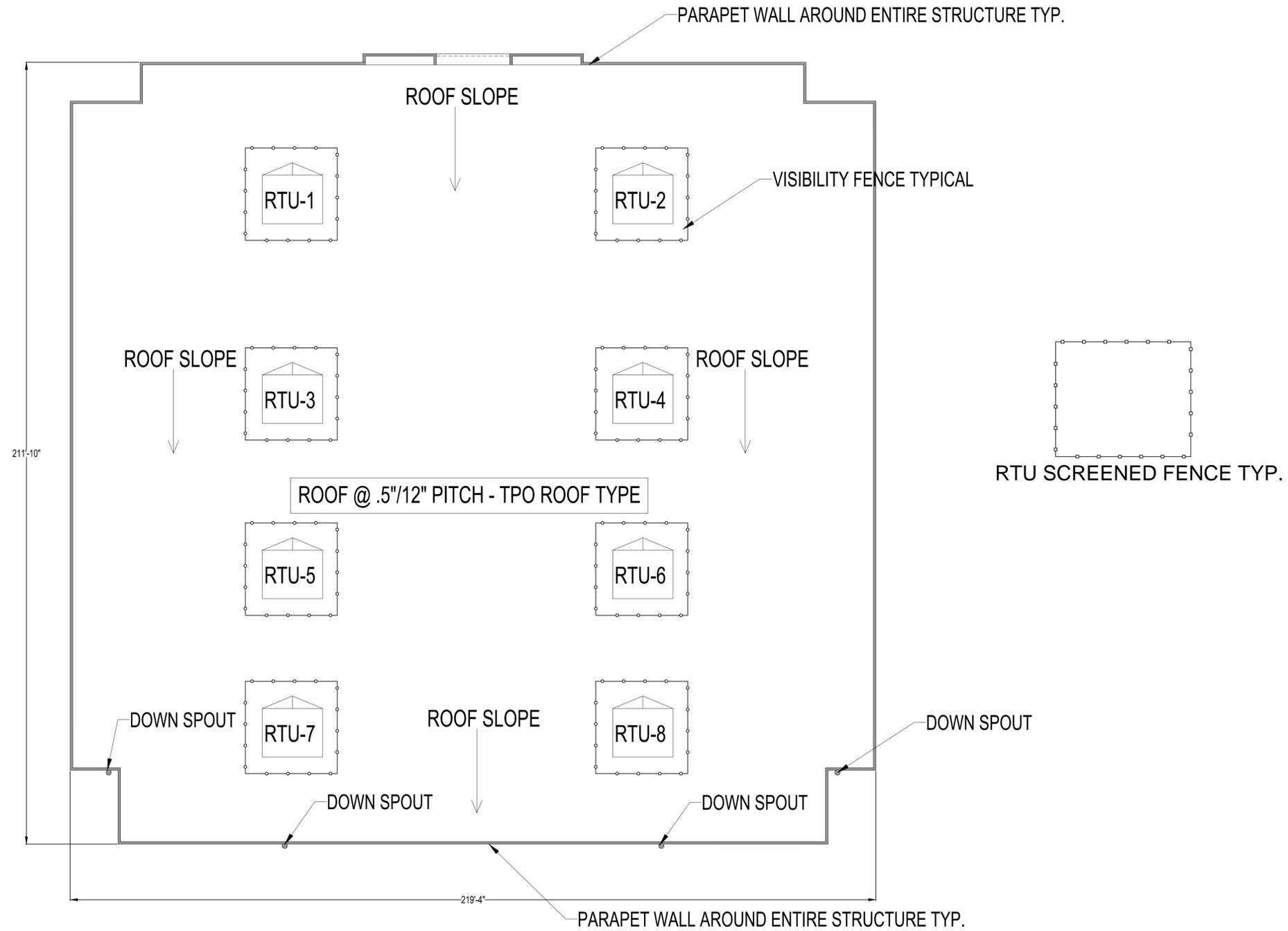
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SHEET TITLE
REAR ELEVATION

SHEET NUMBER
A1.70



GENERAL EXAMPLE FOR ROOF TOP FENCING



PROJECT TITLE

GREEN SPACE STORAGE FACILITY
 2911 WESTMINSTER
 PEARLAND, TEXAS 77591

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 TMS CONTRACTORS, LLC
 713-256-3945
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SKNIELING@TMSCONTRACTORSLLC.COM



11-04-16	DESIGN DOCUMENTS

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SHEET TITLE

ROOF PLAN

SHEET NUMBER

A1.80

Foundation and Preparation

General. Areas on which permeable articulating concrete block/mats are to be placed shall be constructed to the lines and grades shown on the Contract Drawings and to the tolerances specified in the Contract Documents, and approved by the Engineer.

Subgrade. Unless required on engineering drawings, compaction of subgrade should be avoided or minimized in order to encourage infiltration of stormwater.

Geotextile Separator or Geogrid Stabilization. Install monofilament or multifilament geotextile (such as Mirafi R3380), equivalent, or other material as shown on engineering drawings. The geotextile should be used on the bottom and sides of the installation to prevent contamination of clean base stone. A geogrid is also appropriate for base stabilization, but is not recommended on the sides of the aggregate base.

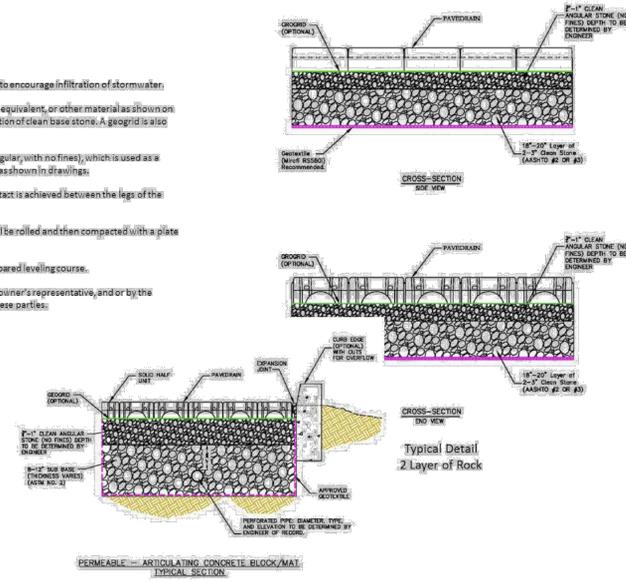
Stone Base. If more than 6" of base stone is required, only the top 4-6" shall be AASHTO #57 stone (3/4" - 2" clean, angular, with no fines), which is used as a leveling course directly beneath the blocks. Additional stone depth should consist of either AASHTO #2 or #3 stone, or as shown in drawings.

Grading & Compaction. The aggregate bedding layer shall be graded to a smooth plane surface to ensure intimate contact is achieved between the legs of the permeable articulating concrete block/mats and the aggregate bedding layer.

All base stone (AASHTO #2 or #3) shall be compacted in 6" lifts with roller. Leveling course of AASHTO #57 stone shall be rolled and then compacted with a plate compactor in both the perpendicular and parallel directions in the area of coverage.

Recommended Geogrid Separator. Install Tensar BX-1100, BX-1500 (or equal) geogrid separator directly on top of prepared leveling course.

Inspection. Immediately prior to placing the P-ACB/M mats the prepared area shall be inspected by the Engineer, the owner's representative, and/or by the manufacturer's representative. No blocks/mats shall be placed thereon until that area has been approved by one of these parties.



DISCLAIMER: PAVEDRAIN, LLC AND ITS LICENSEES, DISTRIBUTORS AND MANUFACTURERS MAKE NO WARRANTY OR REPRESENTATION AND SHALL HAVE NO LIABILITY TO CUSTOMER OR ANY THIRD PARTY WITH RESPECT TO ANY PROPOSAL OR SUBMITTAL TO THE EXTENT IT CONFLICTS WITH ANY ENGINEER'S PLAN AND/OR SPECIFICATION.

DATE	REVISIONS	PROJECT NAME	PREPARED FOR	PREPARED BY	DATE	SCALE	CHECKED BY
			PAVEDRAIN, LLC				

GENERAL

Permeable articulating concrete block/mats shall be premanufactured of individual concrete blocks with specific stormwater runoff capacities. Blocks may be hand-placed, mechanically installed, or fabricated into mats by the use of rebar cables. The mats shall arrive at the jobsite assembled according to lengths and widths as specified on the shop drawings.

Individual blocks in the P-ACB/M shall be staggered, beveled, and interlocked for enhanced stability. The blocks/mats shall be constructed of closed cell blocks with an arched storage chamber for additional stormwater runoff as shown on the contract drawings. Parallel strands of cable shall extend through two (2) ducts in each block in a manner which provides for longitudinal binding of the blocks within the mats. Each row of blocks shall be laterally offset by one-half block width from the adjacent row so that any given block is interlocked and cabled to four other blocks (two in the row above and two in the row below). Six adjacent blocks shall also surround each block.

Each block shall incorporate interlocking surfaces that prevent lateral displacement of the blocks within the mats when they are lifted by the longitudinal rebarment cables. The interlocking surfaces must not protrude beyond the perimeter of the blocks to such an extent that they reduce the flexibility or articulating capability of the articulating concrete mats or become damaged or broken when the mats are lifted during shipment or placement. Once the mats are in place, the interlocking surfaces shall prevent the lateral displacement of the blocks even if the cables should become damaged or removed. The mats must be able to flex a minimum of 10 degrees between any given row and column of blocks in the uplift direction.

The cables shall be inserted into the mats in such a manner to form lifting loops at one end of the mat with the corresponding cable ends spliced together to form a lifting loop at the other end of the mat with sleeves approved by the engineer.

Infiltration Performance:
The P-ACB/M shall only be accepted when accompanied by documented third party infiltration performance characteristics based on ASTM C1701/C1701M-09. The infiltration rate shall be no less than 2,000 inches per hour on an outdoor working surface with typical base material utilized for the test.

Structural Performance:
The design of the P-ACB/M shall be capable of supporting AASHTO H-25 and HS-25 truck loading. The blocks should be analyzed as unreinforced concrete arches supporting a uniform truck tire load with impact per AASHTO standards. As with all vehicular traffic paving systems, the subgrade soil, geosynthetic and base preparation for the P-ACB/M must be properly designed and prepared. This is critical to the performance of the system.

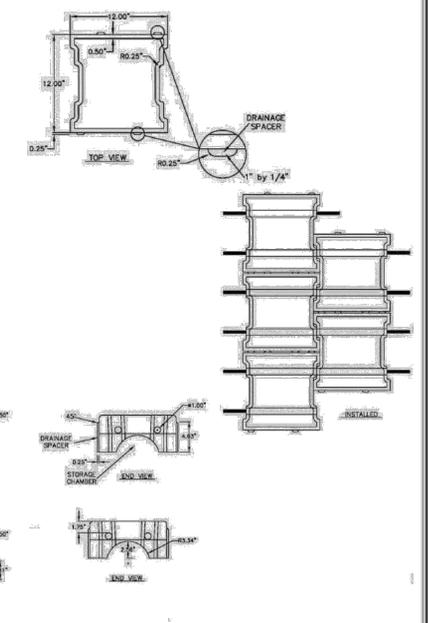
Physical Requirements

At the time of delivery to the work site, the units shall conform to the physical requirements prescribed below.

Item	Description	Values
Dimensions	Length x Width x Height	12" x 12" x 5.65" (+/- 1/8")
Compressive Strength	ASTM D-6684 / C-140	4,000 psi minimum
Block Weight	Arched Block:	45-50 lbs/sf
	Solid Block:	55-60 lbs/sf
Loading Capabilities	Traffic Rating	AASHTO HS-25
Joint Fills Between Blocks	Material Used	NONE Required
Percent Open Space	Surface: 7% Storage: 20%	
Water Absorption (%)	ASTM D-6684 / C-140	9.1% Avg. of Three, 11.7% Individual
Density (lbs/cf)		130 Avg. of Three, 125 Individual
Storage Capacity	Above Aggregate Within Arch	0.0833 cf/block
Post Installation, Verified	ASTM C1701/C1701M-09	Average of 2,000 inches/hour/sf
Surface Infiltration Rate	ASTM C1781	per ASTM requirements

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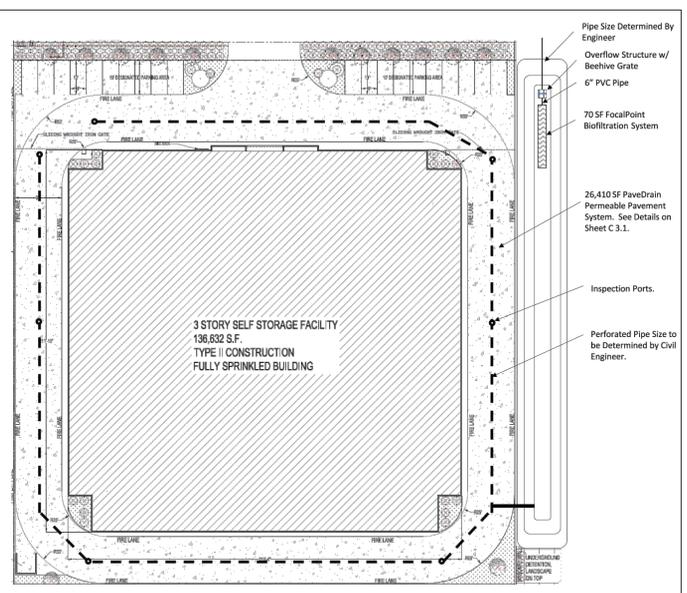
DATE	REVISIONS	PROJECT NAME	PREPARED FOR	PREPARED BY	DATE	SCALE	CHECKED BY
			PAVEDRAIN, LLC				



Detention Requirements:
91,524 SF x .35 Acre Ft/Acre
(.25 Acre Feet/Acre Based on Harris County LID Manual)
Total Detention Required:
32,033 CF

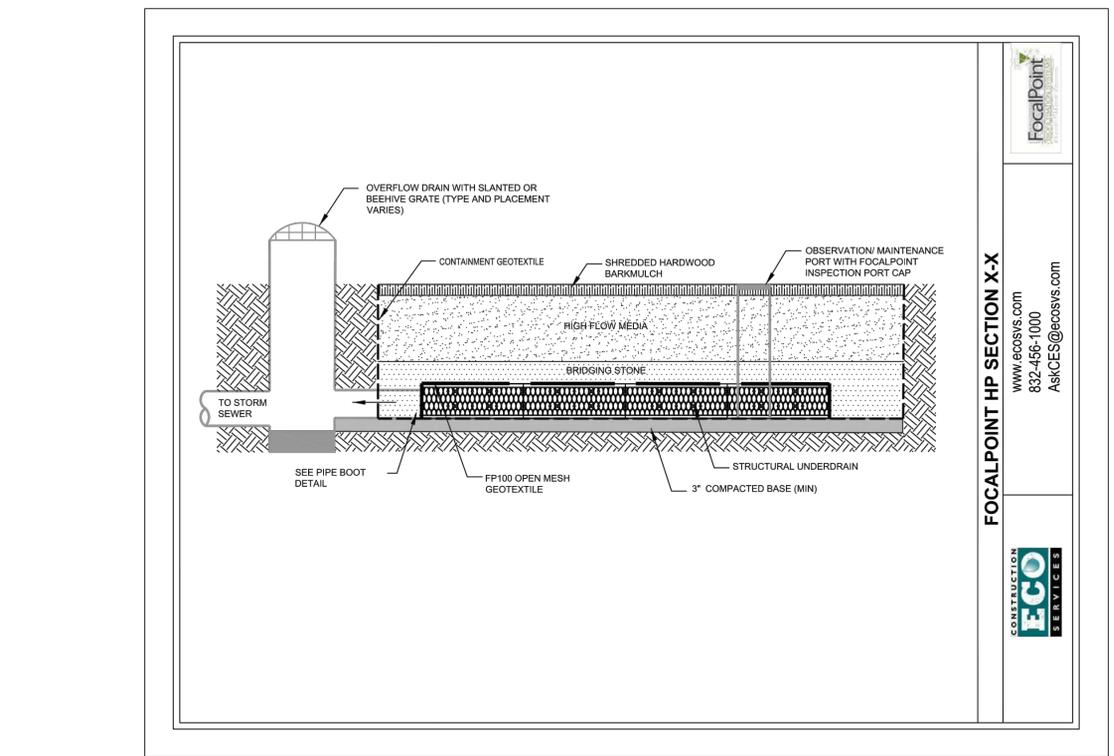
Detention Summary:
Ponding in Parking Lot
6,292 CF
Bioswale Storage:
14,400 CF
PaveDrain System:
11,382 CF

Total Provided:
32,033 CF



Pipe Size Determined by Engineer
Overflow Structure w/ Beehive Grate
6" PVC Pipe
70 SF FocalPoint Biofiltration System
26,410 SF PaveDrain Permeable Pavement System. See Details on Sheet C.3.1.
Inspection Ports.
Perforated Pipe Size to be Determined by Civil Engineer.

3 STORY SELF STORAGE FACILITY
136,832 S.F.
TYPE I CONSTRUCTION
FULLY SPRINKLED BUILDING



PROJECT TITLE
GREEN SPACE STORAGE FACILITY
2911 WESTMINSTER
PEARLAND, TEXAS 77591

A PROJECT FOR:
TMS CONTRACTORS, LLC
713-256-3945
STEFAN KNIELING
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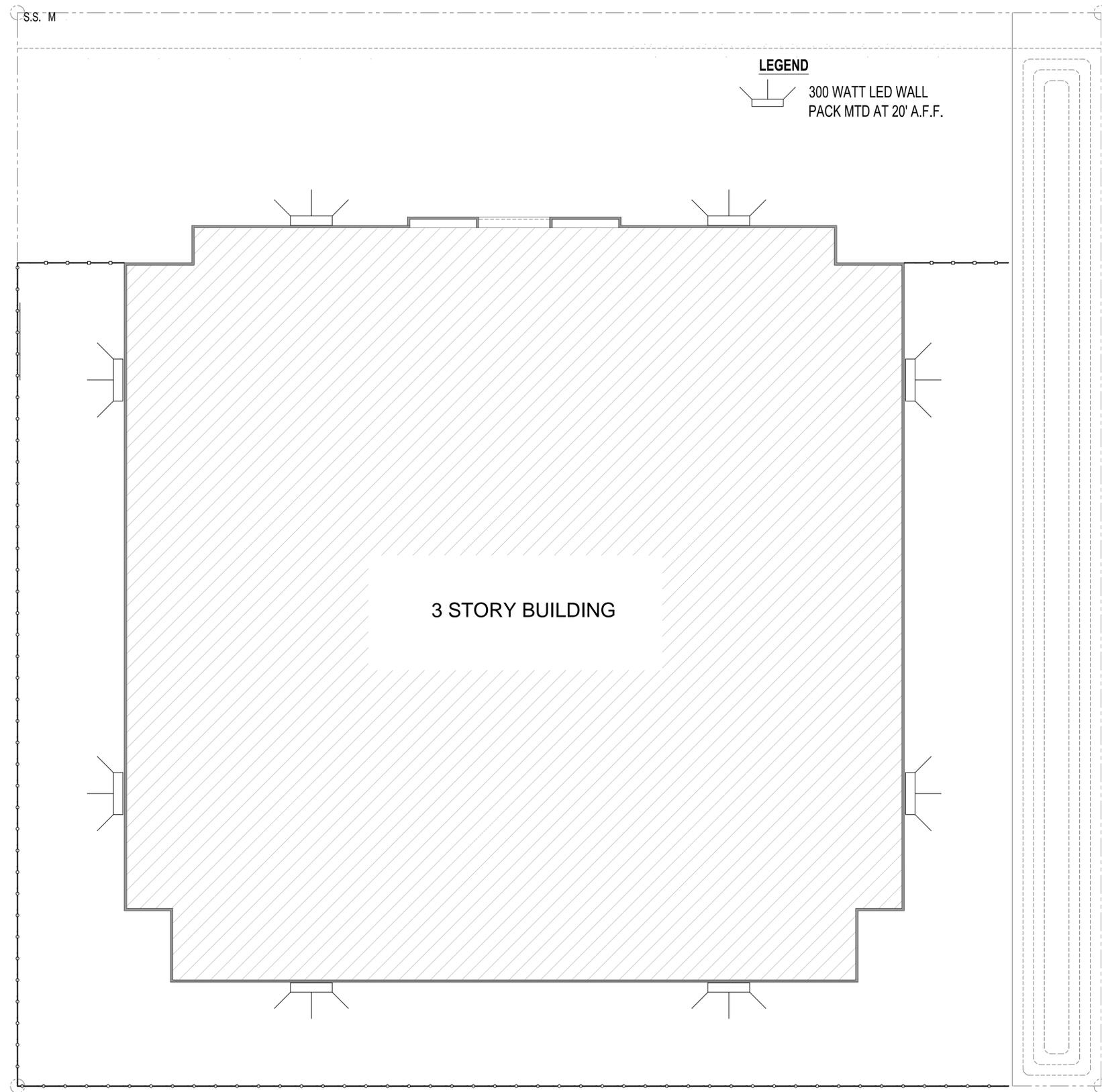
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SHEET TITLE
DETENTION DETAILS

SHEET NUMBER

C1.10

WESTMINSTER



LEGEND
 300 WATT LED WALL
 PACK MTD AT 20' A.F.F.

3 STORY BUILDING

PROJECT TITLE

**GREEN SPACE STORAGE
 FACILITY**
 2911 WESTMINSTER
 PEARLAND, TEXAS 77591

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 713-256-3945
 STEFAN KNIELING
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SHEET TITLE

LIGHTING SITE PLAN

SHEET NUMBER

L1.10





JOINT PUBLIC HEARING

**THE CITY COUNCIL CITY AND THE PLANNING AND ZONING COMMISSION OF
THE CITY OF PEARLAND, TEXAS,
MONDAY, NOVEMBER 21, 2016, AT 6:30 P.M.
COUNCIL CHAMBERS - CITY HALL-3519 LIBERTY DRIVE**

I. CALL TO ORDER

II. PURPOSE OF HEARING

Zone Change Application No. ZONE 16-00016

A request of the City of Pearland, for proposed amendments to all Planned Developments and Planned Unit Developments within the City of Pearland to require approval of a Conditional Use Permit for auto related uses, Gas Stations, Pawn Shops, Payday Loan Centers, Gold Exchanges, Rehab Facilities, Halfway House, Boarding Homes, Asphalt/Concrete Plants, Liquor/Package Stores, Cigars, Tobacco or E-Cigarettes Shops and Vaping Lounges.

III. APPLICATION INFORMATION AND CASE SUMMARY

- A. STAFF REPORT
- B. APPLICANT PRESENTATION
- C. STAFF WRAP UP

IV. PERSONS WISHING TO SPEAK FOR OR AGAINST THE PROPOSED REQUEST

V. COUNCIL/PLANNING COMMISSION/STAFF DISCUSSION

VI. ADJOURNMENT

This site is accessible to disabled individuals. For special assistance, please call Young Lorfing, City Secretary, at 281-652-1655 prior to the meeting so that appropriate arrangements can be made.



Staff Report

To: City Council and Planning and Zoning Commission

From: Planning Department

Date: November 21, 2016

Re: Zone Change Application No. ZONE 16-00016

A request of the City of Pearland, for proposed amendments to all Planned Developments and Planned Unit Developments within the City of Pearland to require approval of a Conditional Use Permit for auto related uses, Gas Stations, Pawn Shops, Payday Loan Centers, Gold Exchanges, Rehab Facilities, Halfway House, Boarding Homes, Asphalt/Concrete Plants, Liquor/Package Stores, Cigars, Tobacco or E-Cigarettes Shops and Vaping Lounges.

Summary of Request

Over the past two years, the City Council has approved amendments to the Unified Development Code (UDC) Land Use Matrix which make certain uses of property approvable by Conditional Use Permit in some commercial and industrial zoning classifications. The amendments are for a number of uses, provided in the list below, that were determined to have possible negative impacts on the surrounding areas.

The intent of this proposed amendment is to make these same uses require a Conditional Use Permit in Planned Developments (PD) with commercially zoned property. At this time, without this proposed amendment, should one of these uses be proposed in a commercial district of one of the PDs, it would be allowed by right, provided it is not currently prohibited by the PD. The amendment would apply the same regulations to these PDs as the rest of the city.

This amendment acts as a general statement dictating how to interpret permitted land use based on existing conditions. As opposed to prohibiting all of the listed uses from all of the PDs, the proposed amendment will allow for a Conditional Use Permit under certain circumstances. If a use is currently permitted by the PD, but included on the list of uses below, that use will now require a CUP. If the use currently requires a CUP per the PD, then the use will still require a CUP. If a proposed use is currently prohibited by the PD, then that use remains prohibited.

This amendment proposes to require a CUP for the following uses in PD districts;

Liquor/Package Store	Combined auto lease
Cigars, Tobacco, or E-Cigarettes Shops and Vaping Lounges	Auto Wash (Full Service/Detail Shop)
Pawn Shop	Auto Wash (Self-Service)
Pay Day Loan Centers	Auto Wrecker Service
Gold Exchanges	Boat Sales/Personal Watercraft Sales (New/Repair)
Boarding Home	Bus or Truck Storage
Halfway House	Commercial Transit Terminal
Rehab facilities	Gasoline Station (With or Without Auto Wash - Self Serve)
Auto related uses	Limousine/Taxi Service
All Terrain Vehicle (Go-Carts & Motor Cycles) Dealer/Sales	Motorcycle Sales/Dealer (New/Repair)
Auto Accessories and/or Parts (Only Retail Sales in building, no outside storage or display, no repair)	Parking Lot or Garage for passenger cars and trucks of less than one (1) ton capacity
Auto Glass Repair/Tinting	Tire Retreading and Capping
Auto Interior Shop/Upholstery	Tire Sales (Outdoors, With Open Storage)
Auto Parts Sales (With Outside Storage or Display)	Transfer Station (Refuse/Pick-up)
Auto Parts Sales (Indoors Only; With Repair Bays)	Truck (Heavy) and Bus Rental or Sales
Auto Rental	Truck or Freight Terminal
Auto Repair (Major)	Asphalt/Concrete Plants
Auto Repair (Minor)	
Auto Sales/Dealer (New-In Building, Auto Servicing and Used Auto Sales as accessory uses only)	

Recommendation

Staff recommends approval of this amendment to all of the Planned Developments for the following reasons:

1. This amendment brings the land use charts within PD documents in line with today's currently amended UDC and apply the same regulations to those areas as the rest of the city.
2. This amendment expands the ability of the City to allow land uses which could negatively affect surrounding areas which may include schools, residential developments, and/or public institutions with appropriate measures to mitigate potential negative impact.

Staff recommends the following text as an amendment to each of the existing Planned Developments:

Effective December --- (date of adoption)—

If the Planned Development or Planned Unit Development would have allowed any of the uses in Table 1 then the previously permitted use would be permitted by Conditional Use Permit.

If the Planned Development or Planned Unit Development labeled any of the uses in Table 1 as prohibited then this amendment does not change that status.

If the Planned Development or Planned Unit Development labeled any of the uses in Table 1 as Conditional Use Permit then there is no change and the Use still requires a Conditional Use Permit.

Table 1:

*Liquor/Package Store
Cigars, Tobacco, or E-Cigarettes Shop and Vaping Lounges
Pawn Shop
Pay Day Loan Centers
Gold Exchanges
Boarding Home
Halfway House
Rehab Facilities
Auto related uses
All Terrain Vehicle (Go-Carts & Motor Cycles) Dealer/Sales
Auto Accessories and/or Parts (Only Retail Sales in building, no outside storage or display, no repair)
Auto Glass Repair/Tinting
Auto Interior Shop/Upholstery
Auto Parts Sales (With Outside Storage or Display)
Auto Parts Sales (Indoors Only; With Repair Bays)
Auto Rental
Auto Repair (Major)
Auto Repair (Minor)
Auto Sales/Dealer (New-In Building, Auto Servicing and Used Auto Sales as accessory uses only) Combined auto lease
Auto Wash (Full Service/Detail Shop)
Auto Wash (Self-Service)
Auto Wrecker Service
Boat Sales/Personal Watercraft Sales (New/Repair)
Bus or Truck Storage*

Commercial Transit Terminal
Gasoline Station (With or Without Auto Wash - Self Serve)
Limousine/Taxi Service
Motorcycle Sales/Dealer (New/Repair)
Parking Lot or Garage for passenger cars and trucks of less than one (1) ton capacity
Tire Retreading and Capping
Tire Sales (Outdoors, With Open Storage)
Transfer Station (Refuse/Pick-up)
Truck (Heavy) and Bus Rental or Sales
Truck or Freight Terminal
Asphalt/Concrete Plants

Conformance with the Comprehensive Plan

This amendment will be in conformance with the Comprehensive Plan. Conditional uses are those uses which are generally compatible with the permitted land uses in a given zoning district but may require additional scrutiny. A CUP allows the Planning and Zoning Commission and the City Council the opportunity to review the suitability of the use in the zoning district.

Conformance with the Thoroughfare Plan

The 50 PD/PUD within the City of Pearland are located on a variety of road classifications that are addressed by the individual PD/PUDs.

Conformance with the Unified Development Code

This amendment brings the land use charts within each PD/PUD documents in line with currently amended UDC and applies the same regulations to those areas as the rest of the city.

Impact on Existing and Future Development

It is anticipated that the proposed amendments will have a positive impact on existing or future developments. A CUP allows the Planning and Zoning Commission and the City Council the opportunity to review the suitability of the use in the zoning district. Conditional uses are those uses which are generally compatible with the permitted land uses in a given zoning district. These uses require individual review of their proposed location, design, configuration, and possible imposition of conditions to ensure appropriateness of the use at a particular location within a given district.

Public Notification

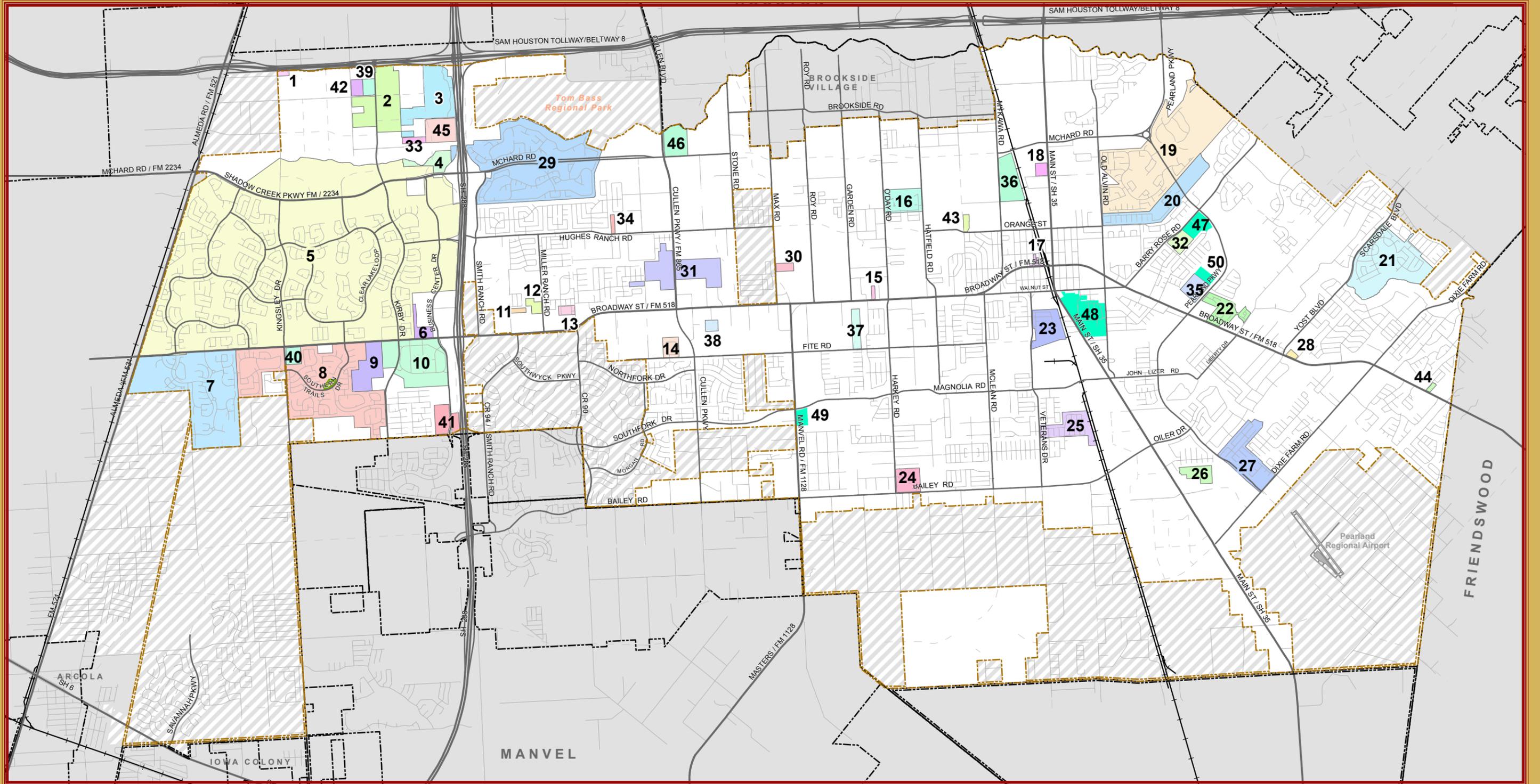
An ordinance of the City Council adopted in September 2016 approved the notice of the proposed zoning to occur in the same manner as what takes place for a text amendment; by placing notice in the newspaper. The City published notice in the paper on two weeks instead of only one week.

Opposition to or Support of Proposed Request

As of the date of this writing, staff has not received any comments either in opposition to or in support of the proposed change in zoning request to amend the PUD.

Exhibits

1. Approved Planned Development Map

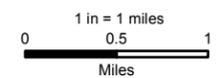


CITY OF PEARLAND

Planned Development Districts (PD)

* has an amendment (#) indicates number of amendments

- | | | | | |
|-------------------------------|------------------------------------|--------------------------------------|-------------------------------------|---|
| 1 14525 Alameda School Road | 12 Skilled Nursing Home | 23 Twin Lakes* (1) | 34 Classic Self Storage | 45 Ivy District |
| 2 LNR Clear Creek Spectrum | 13 Parkside at Pearland | 24 Lawrence Place | 35 The Center at Pearland Pkwy* (2) | 46 Pearland's Lake Park |
| 3 Lifestyle Center* (1) | 14 20 Acres Fite Road | 25 Canterbury Park | 36 Third Coast Terminals* (1) | 47 Pearland Marketplace |
| 4 Strouhal Tracts | 15 Botanical Landscape* (1) | 26 Villages at Town Lake | 37 West Lake | 48 Bakers Landing |
| 5 Shadow Creek Ranch* (1) | 16 Village Grove | 27 Oakbrook Estates | 38 Pearland Senior Village | 49 Midtown at Magnolia |
| 6 WCF Development | 17 Old Downtown Church* (1) | 28 Ellis Plaza | 39 Technology District | 50 The Center at Pearland Pkwy Addendum |
| 7 Shadow Creek Ranch Addendum | 18 Pauluhn Electric Manufacturing | 29 Country Place | 40 Kingsley & Broadway | |
| 8 Southern Trails* (1) | 19 Highland Glen* (1) | 30 Gartner Coatings | 41 Business Center | |
| 9 Ridge Rock | 20 123 Acres Pearland Parkway* (1) | 31 Houston Memorial Gardens Cemetery | 42 Dover Energy | |
| 10 Pearland Town Center* (6) | 21 Bellavita at Green Tee* (2) | 32 New Life Lutheran Church | 43 5205 Orange Street | |
| 11 Wooten Road | 22 Province Village* (2) | 33 Water Lights District | 44 BAKS Brewing | |



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

MAP PREPARED: SEP 2016
CITY OF PEARLAND GIS DEPARTMENT